

DEVELOPMENT APPLICATION

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A 21.03.2022 ISSUED FOR DEVELOPMENT APPLICATION

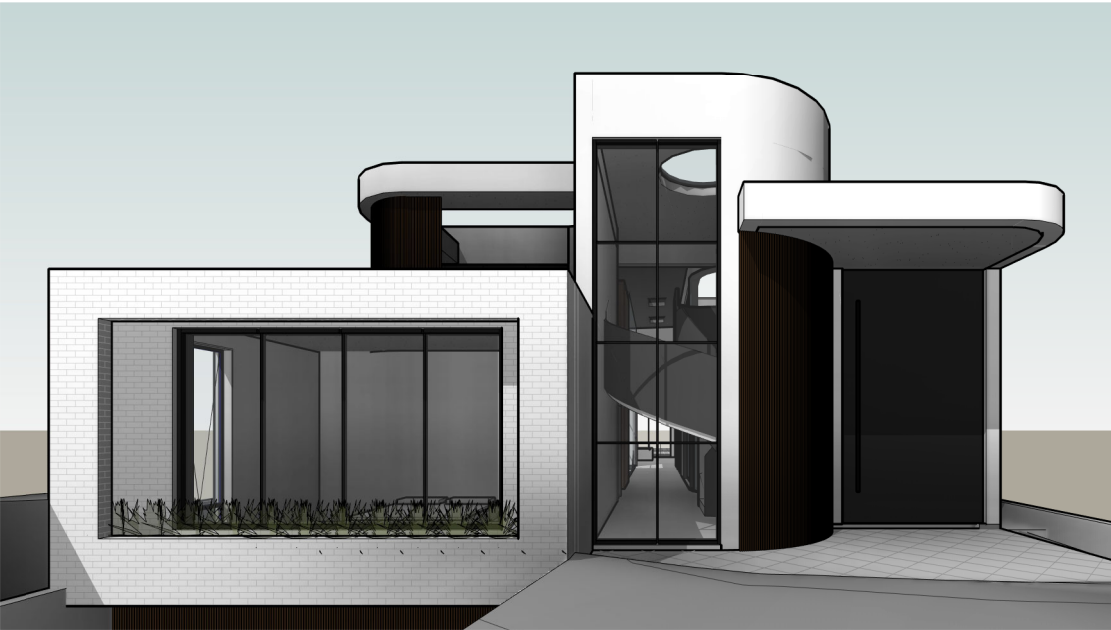
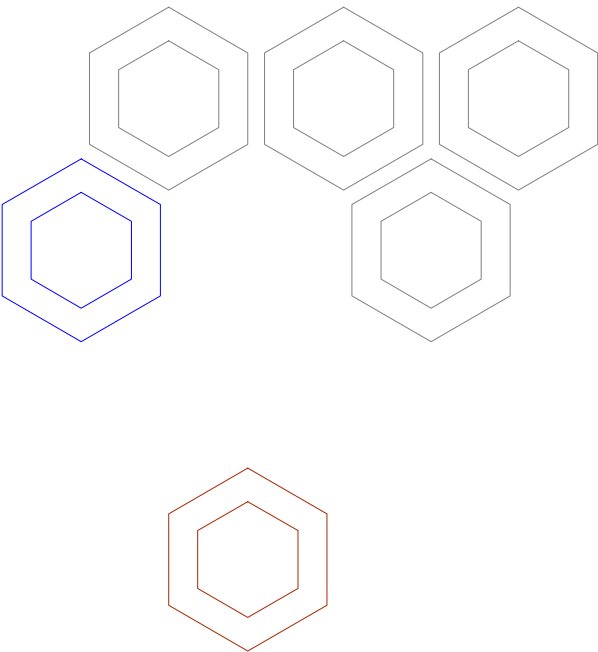
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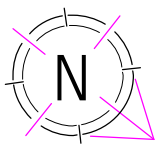
A01	OWNER'S CONSENT FORM
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PROPOSED DWELLING HOUSE

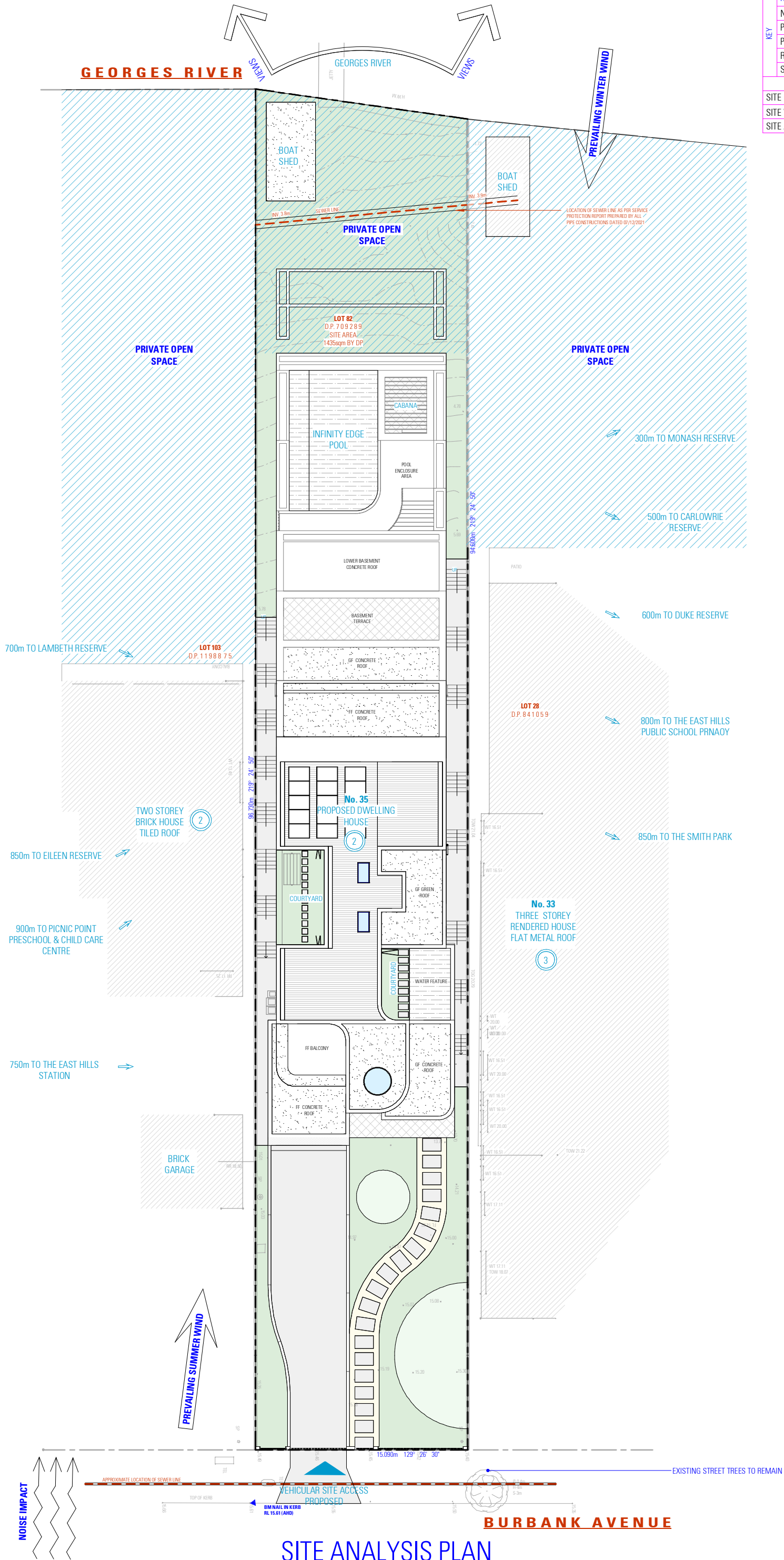
35 BURBANK AVENUE,
EAST HILLS NSW 2213

ANDREW ZADA





KEY	ITEM	SYMBOL
	NUMBER OF STOREYS	①/②
	POSSIBLE OVERLOOKING	↔
	PRIVATE OPEN SPACE	▨
	REDUCED LEVELS	▽
	SITE	---
SITE DETAILS		
SITE LENGTH (APPROX.)		95670 m
SITE WIDTH (APPROX.)		15090 m
SITE AREA		1443.640 m²



SITE ANALYSIS PLAN

NOT FOR CONSTRUCTION

NOTES

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PROPOSED DWELLING HOUSE

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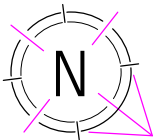
SITE ANALYSIS PLAN

DESIGN BENITA ZEAITER
DRAFTED KRISTINA NIKOLOVSKA

ANDREW ZADA

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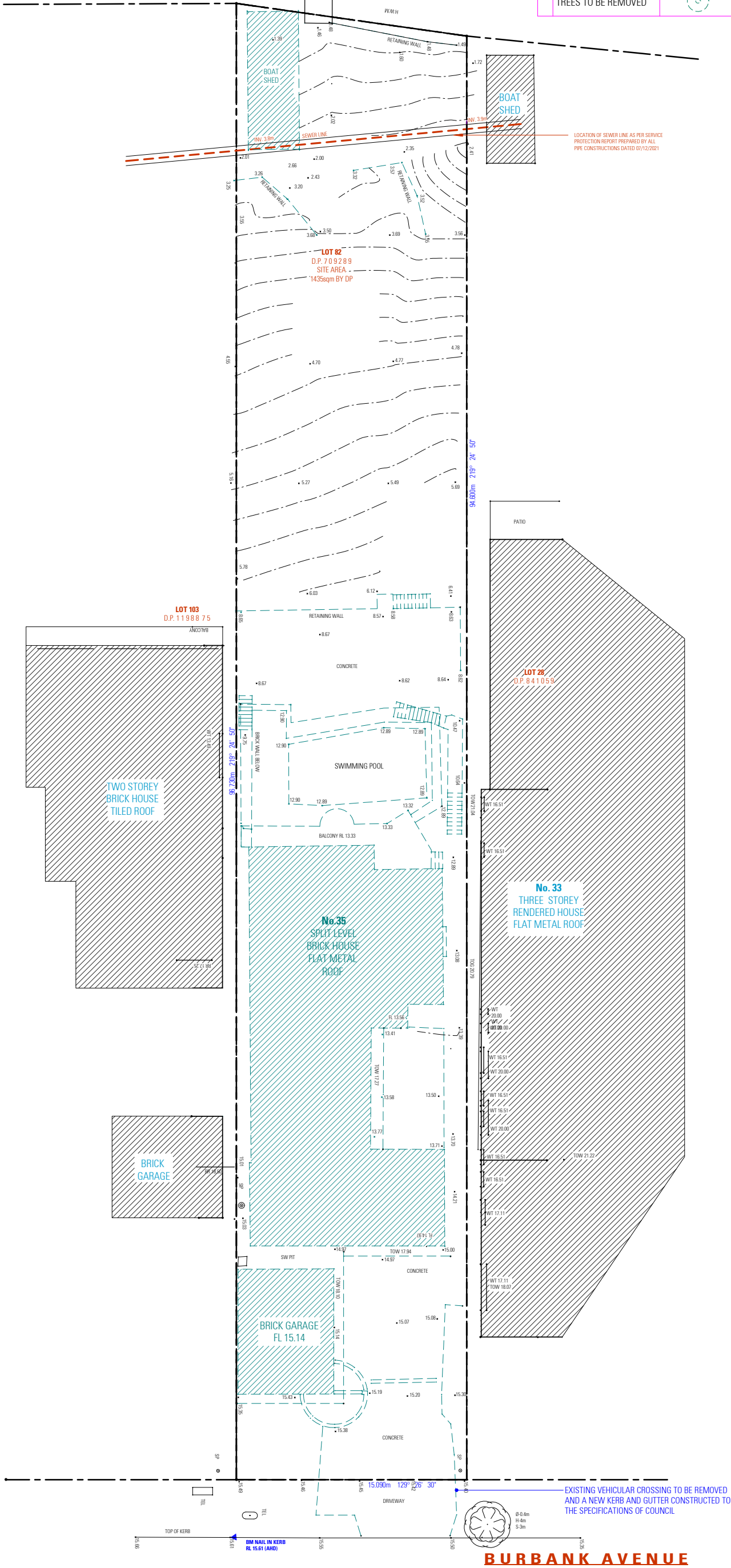
DWG No. 21195 - 01



GEORGES RIVER

SITE LEGEND	
ITEM	SYMBOL
STRUCTURE TO BE DEMOLISHED	
ITEMS TO BE REMOVED	
TREES TO BE REMOVED	

- DEMOLITION NOTES**
- EXISTING VEHICULAR CROSSING TO BE REMOVED, A NEW VEHICULAR CROSSING TO BE CONSTRUCTED TO THE SPECIFICATIONS OF COUNCIL
 - ALL DEMOLITION AND WASTE MATERIALS TO BE REMOVED FROM SITE IN ACCORDANCE WITH THE ACCOMPANYING WASTE MANAGEMENT PLAN, AND AUSTRALIAN STANDARD 2601.2001
 - ALL NECESSARY PERMITS ARE TO BE OBTAINED FROM COUNCIL BY THE NOMINATED CONTRACTOR PRIOR TO ANY WORKS
 - ANY HAZARDOUS MATERIAL FOUND ON SITE IS TO BE REMOVED IN ACCORDANCE WITH RELEVANT LEGISLATION, BUILDING CODES, AUSTRALIAN STANDARDS AND WORK COVER GUIDELINES.



DEMOLITION PLAN

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- NOTES**
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ACCREDITED
BUILDING DESIGNER

PROPOSED DWELLING HOUSE

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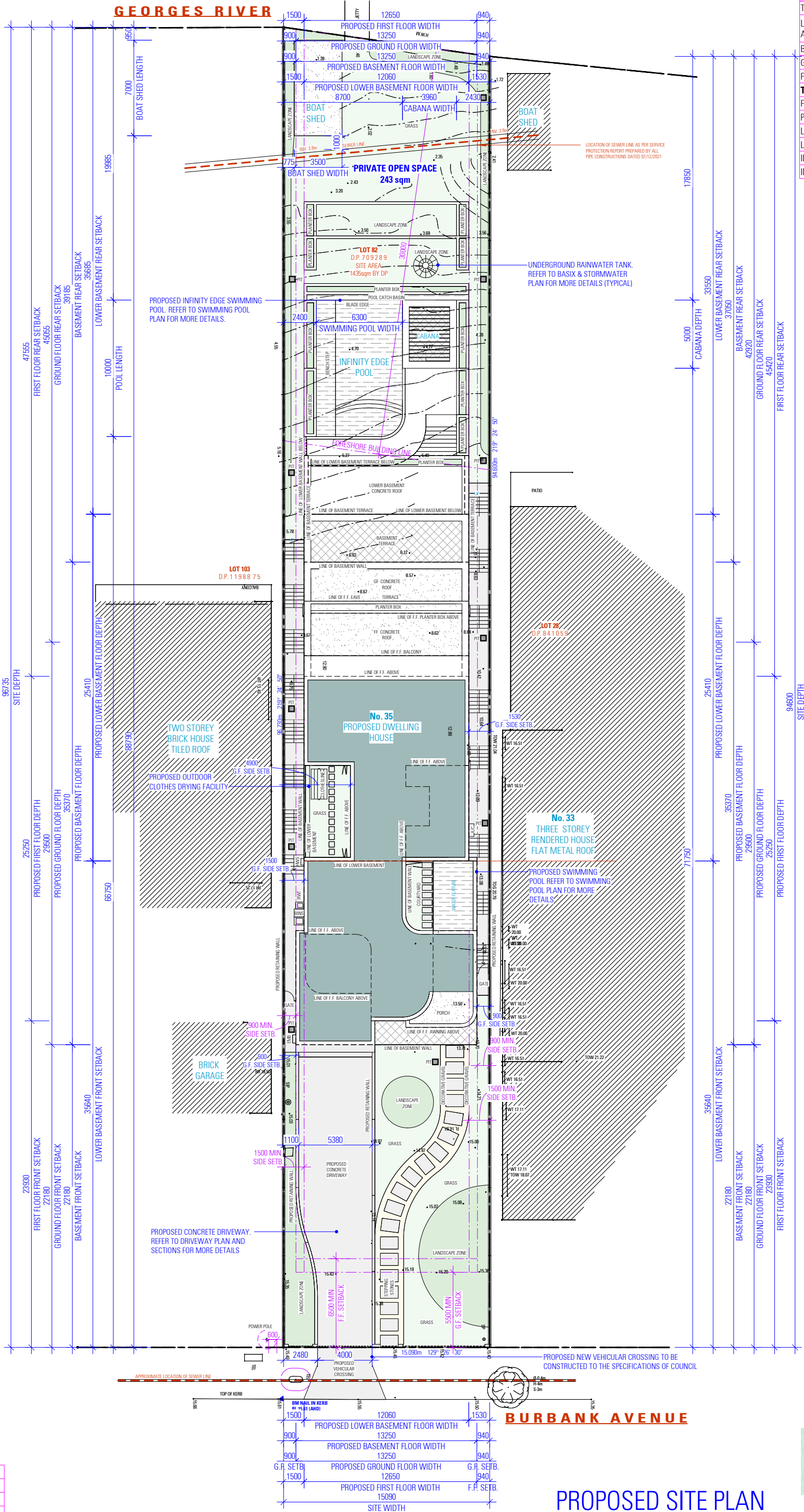
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DEMOLITION PLAN

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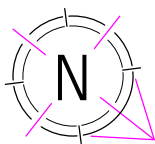
SITE LEGEND		
KEY	ITEM	SYMBOL
	GROUND FLOOR AREA	
	LINE OF FIRST FLOOR	
	SITE BOUNDARY	

- DWG No. 21195 - 03

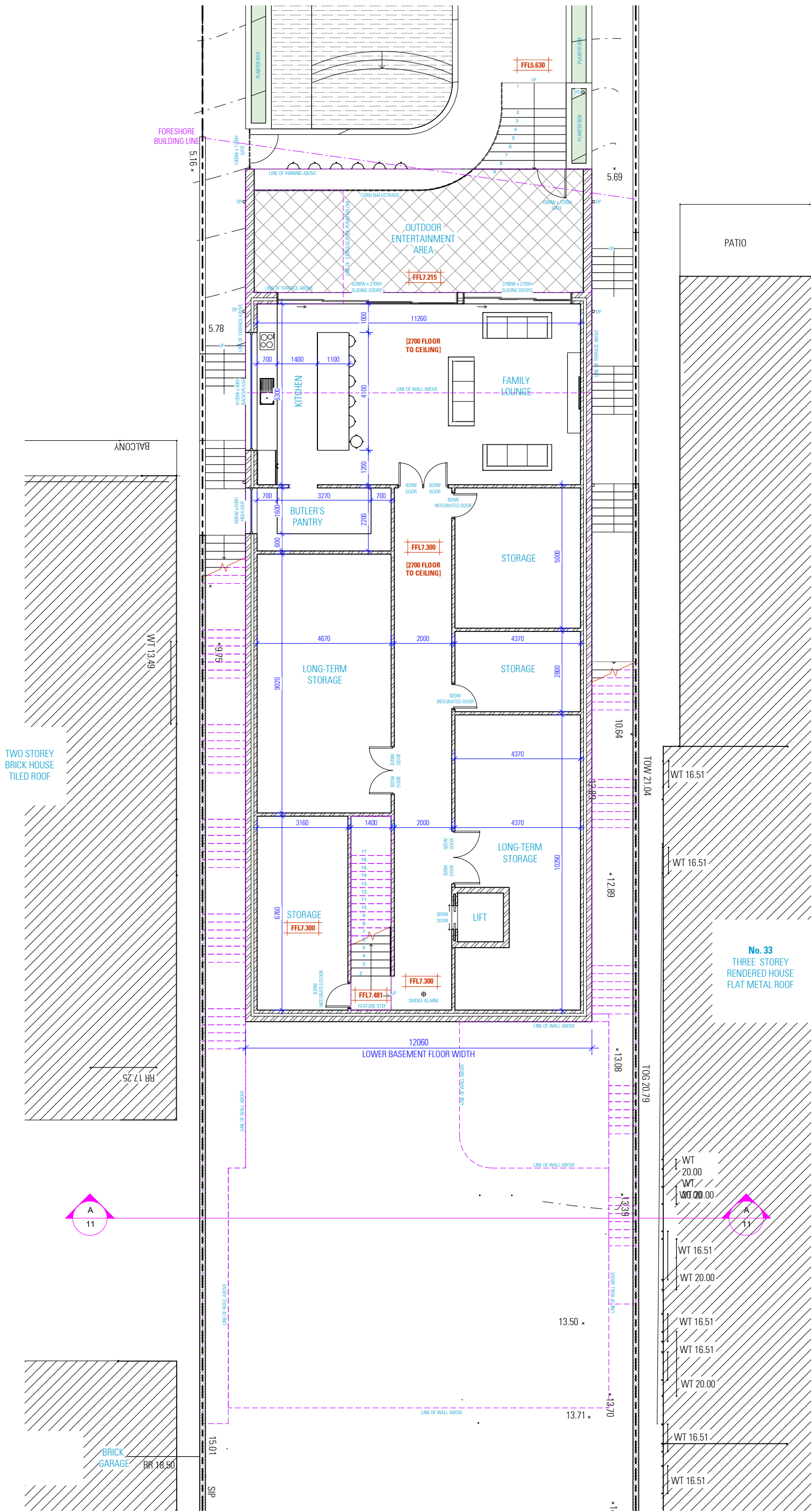


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PROPOSED SITE PLAN



25410
LOWER BASEMENT FLOOR DEPTH



25410
LOWER BASEMENT FLOOR DEPTH

LOWER BASEMENT FLOOR PLAN

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PROPOSED DWELLING HOUSE

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EAST HILLS NSW 2213

DESIGN
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BENITA ZEAITER
KRISTINA NIKOLOVSKA

ANDREW ZADA

DRAWING

PROPOSED LOWER BASEMENT PLAN

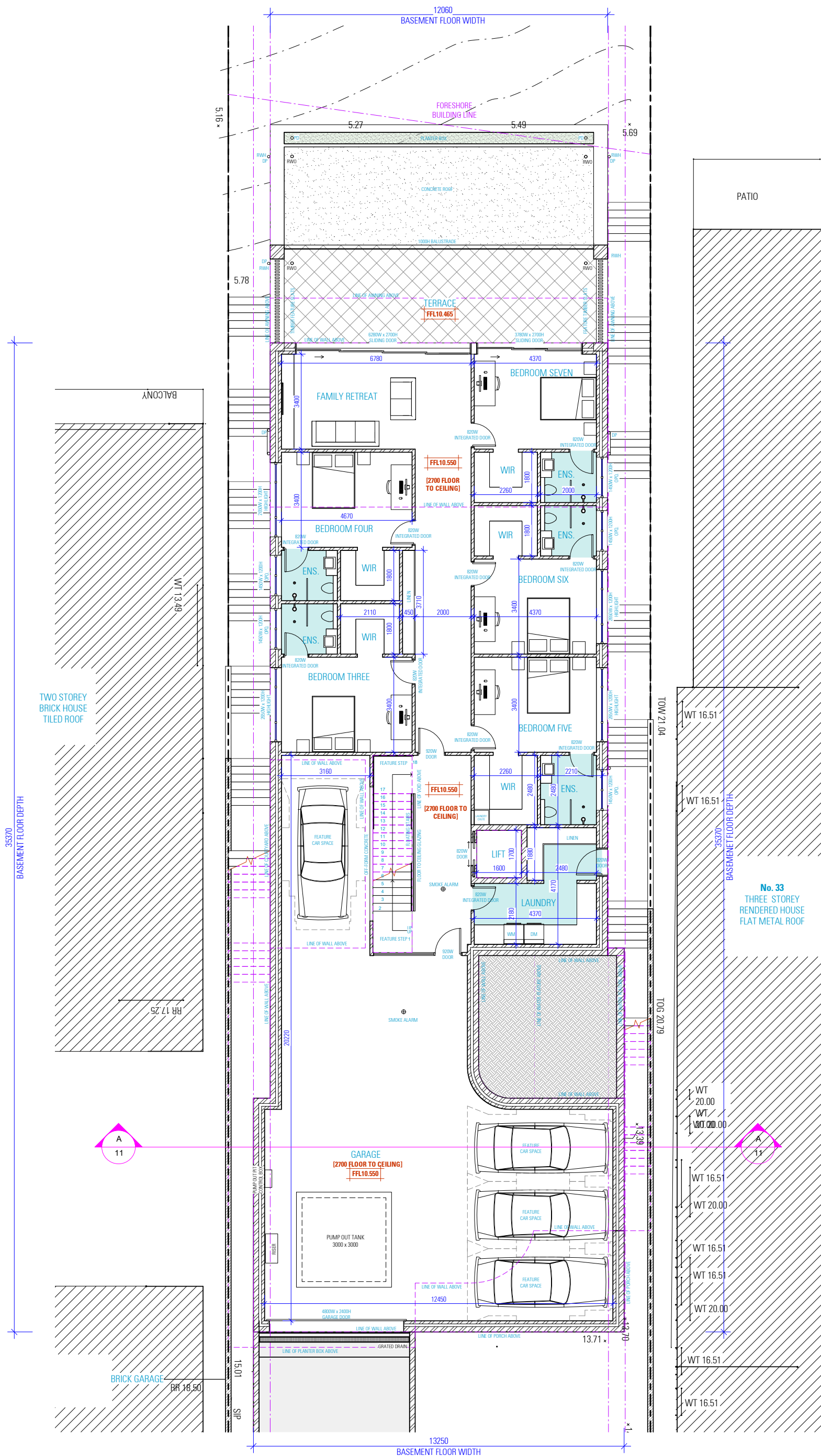
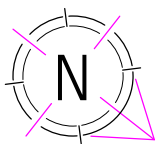
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PROPOSED BASEMENT FLOOR PLAN

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EAST HILLS NSW 2213

DESIGN
DRAFTED

BENITA ZEAITER
KRISTINA NIKOLOVSKA

ANDREW ZADA

DRAWING

PROPOSED BASEMENT FLOOR PLAN

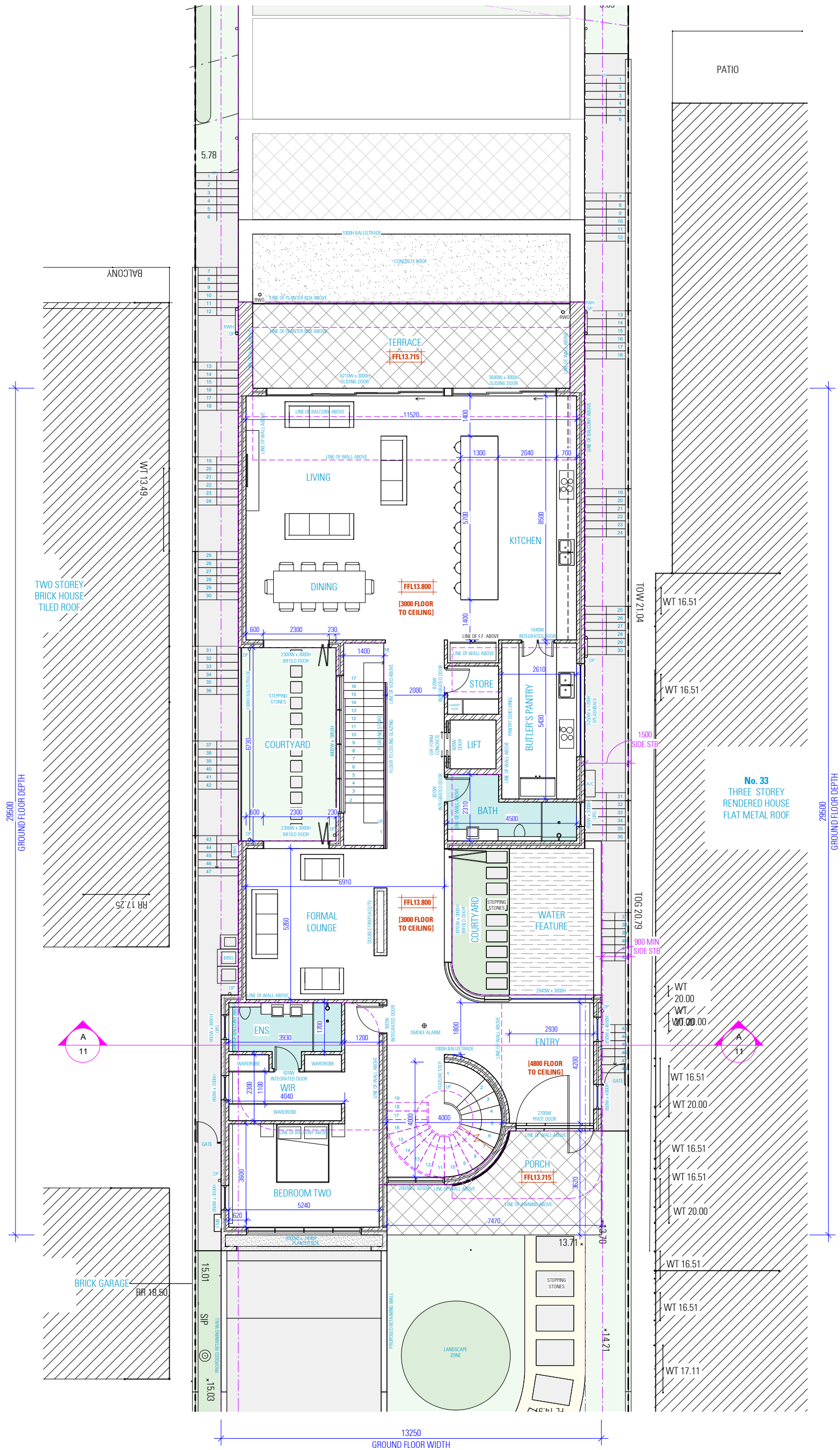
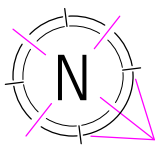
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PROPOSED GROUND FLOOR PLAN

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PROPOSED DWELLING HOUSE

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DRAFTED KRISTINA NIKOLOVSKA

ANDREW ZADA

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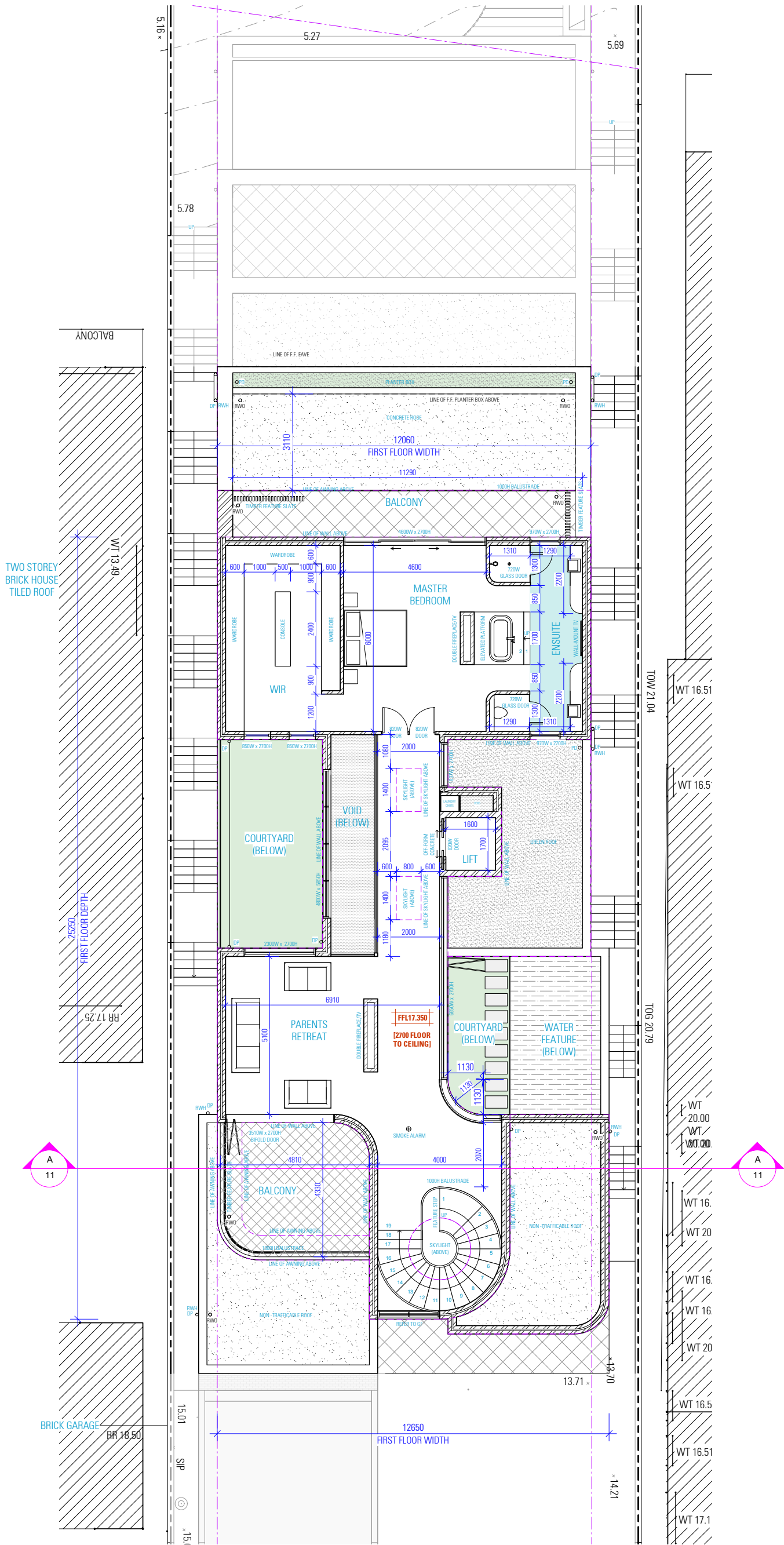
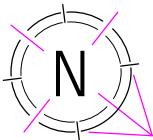
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PROPOSED FIRST FLOOR PLAN

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EAST HILLS NSW 2213

DESIGN BENITA ZEAITER
DRAFTED KRISTINA NIKOLOVSKA

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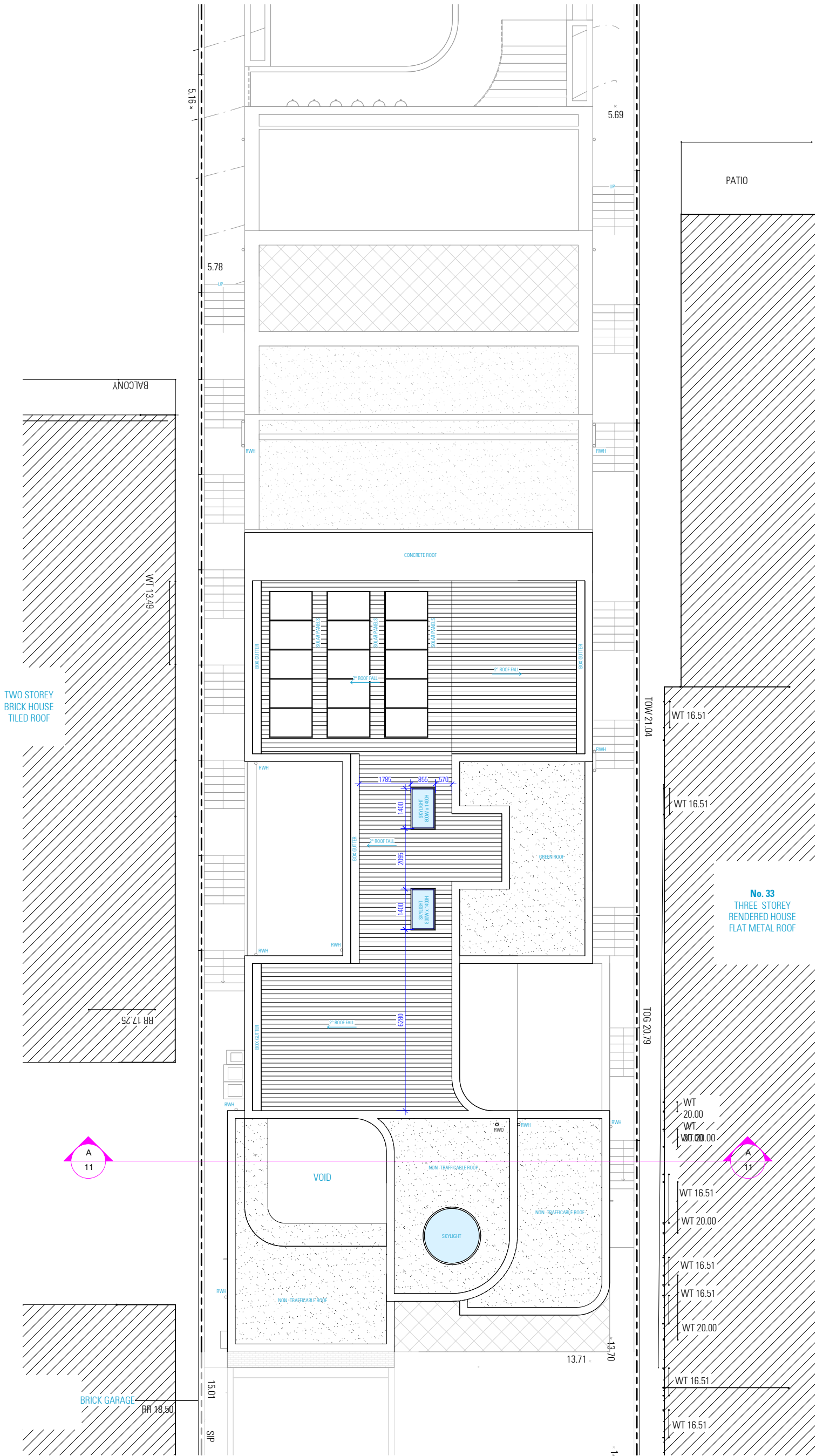
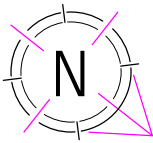
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PROPOSED ROOF PLAN

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DESIGN BENITA ZEAITER
DRAFTED KRISTINA NIKOLOVSKA
ISSUE ANDREW ZADA

DRAWING
PROPOSED ROOF PLAN

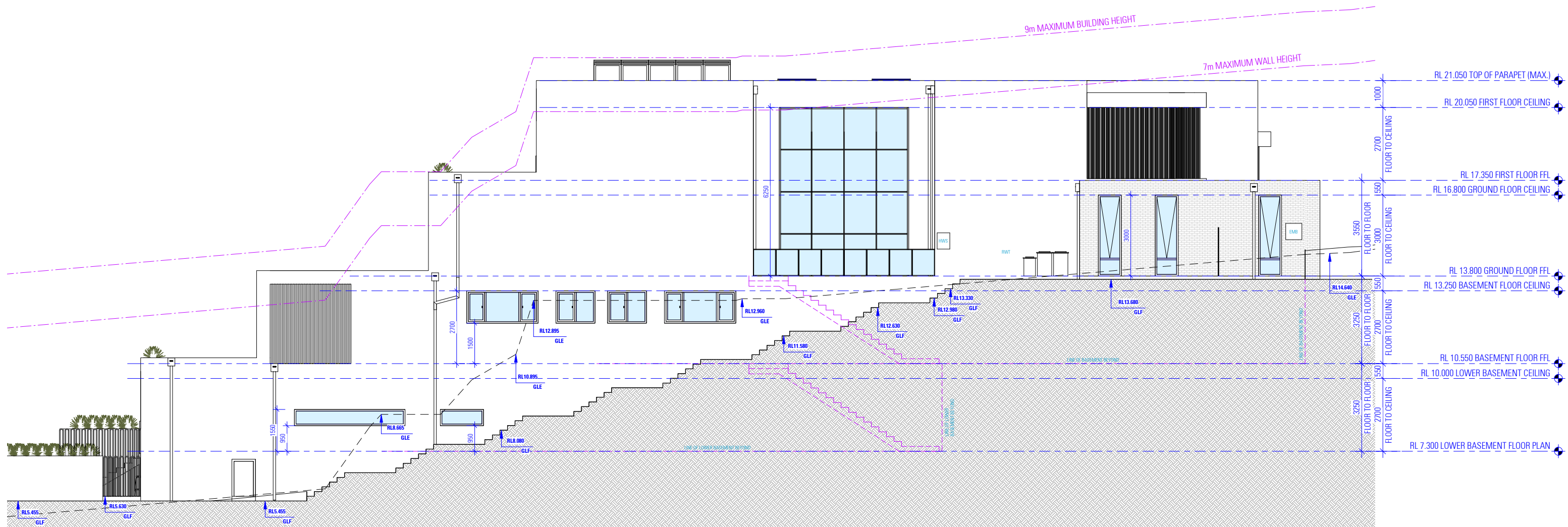
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AS SEEN FROM BURBANK AVENUE



SOUTH - EAST ELEVATION

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PROPOSED DWELLING HOUSE | 10

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EAST HILLS NSW 2213

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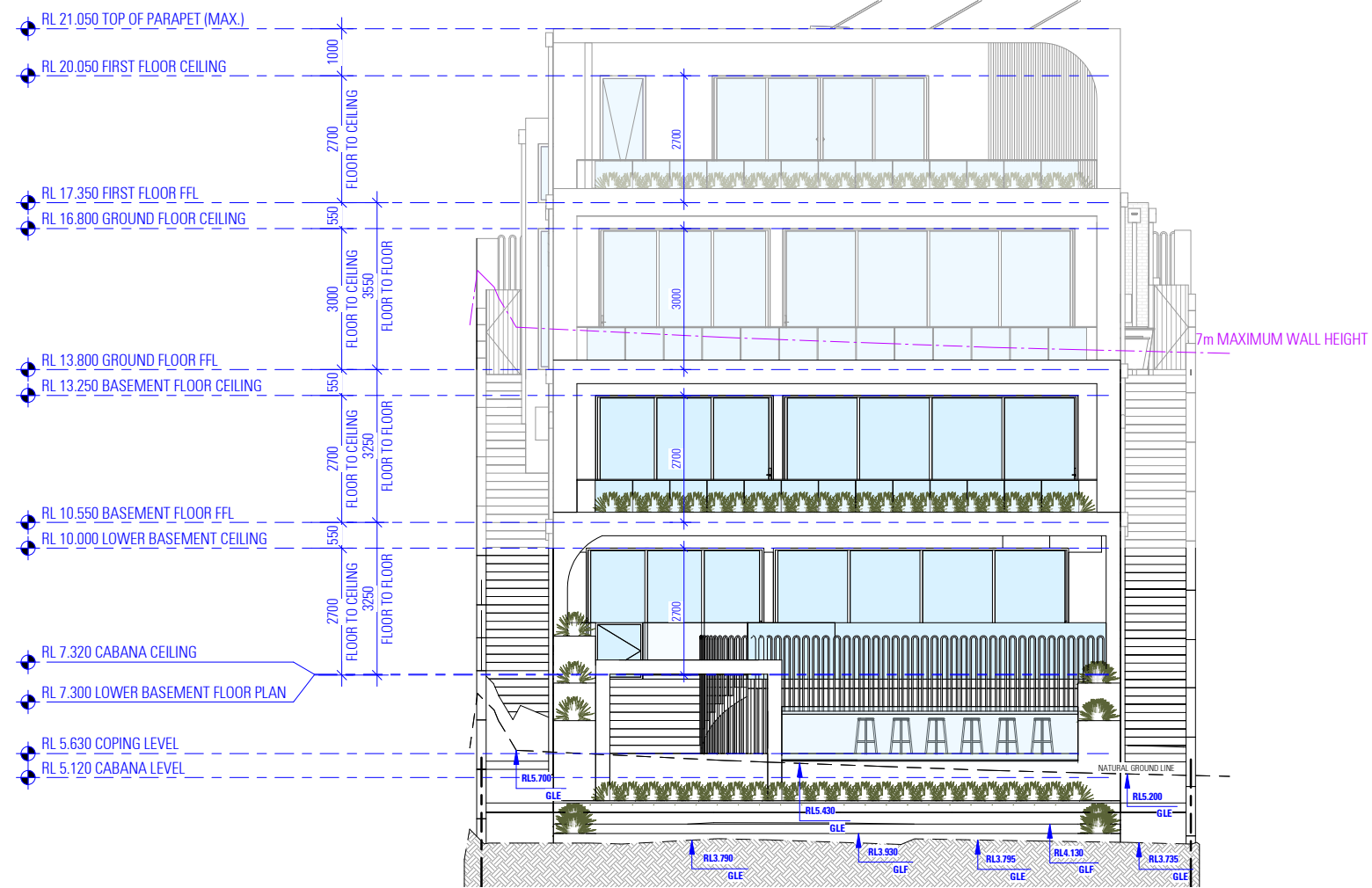
NORTH-EAST AND SOUTH-EAST ELEVATION

DESIGN BENITA ZEAITER
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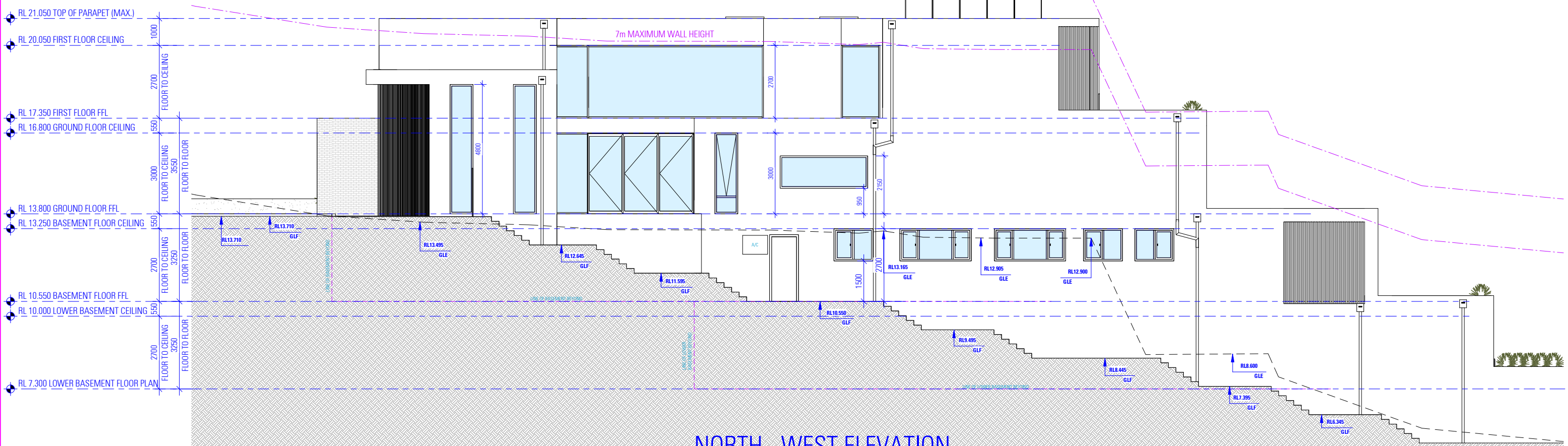
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SOUTH - WEST ELEVATION



NORTH - WEST ELEVATION

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DRAWING
SOUTH-WEST AND NORTH-WEST
ELEVATION







DESIGN
DRAFTED BENITA ZEAITER
KRISTINA NIKOLOVSKA

ANDREW ZADA

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WALL SCHEDULE

270mm CAVITY BRICK  110mm BRICK SKIN 50mm CAVITY 110mm BRICK SKIN	230mm DOUBLE BRICK  110mm BRICK SKIN 10mm MORTAR 110mm BRICK SKIN	110mm SINGLE BRICK  110mm BRICK SKIN	190mm RETAINING WALL  190mm CONCRETE BLOCK	500mm RETAINING WALL  500mm CONCRETE BLOCK	400mm HABITABLE BASEMENT  190mm CONCRETE BLOCK 100mm CAVITY 110mm BRICK SKIN
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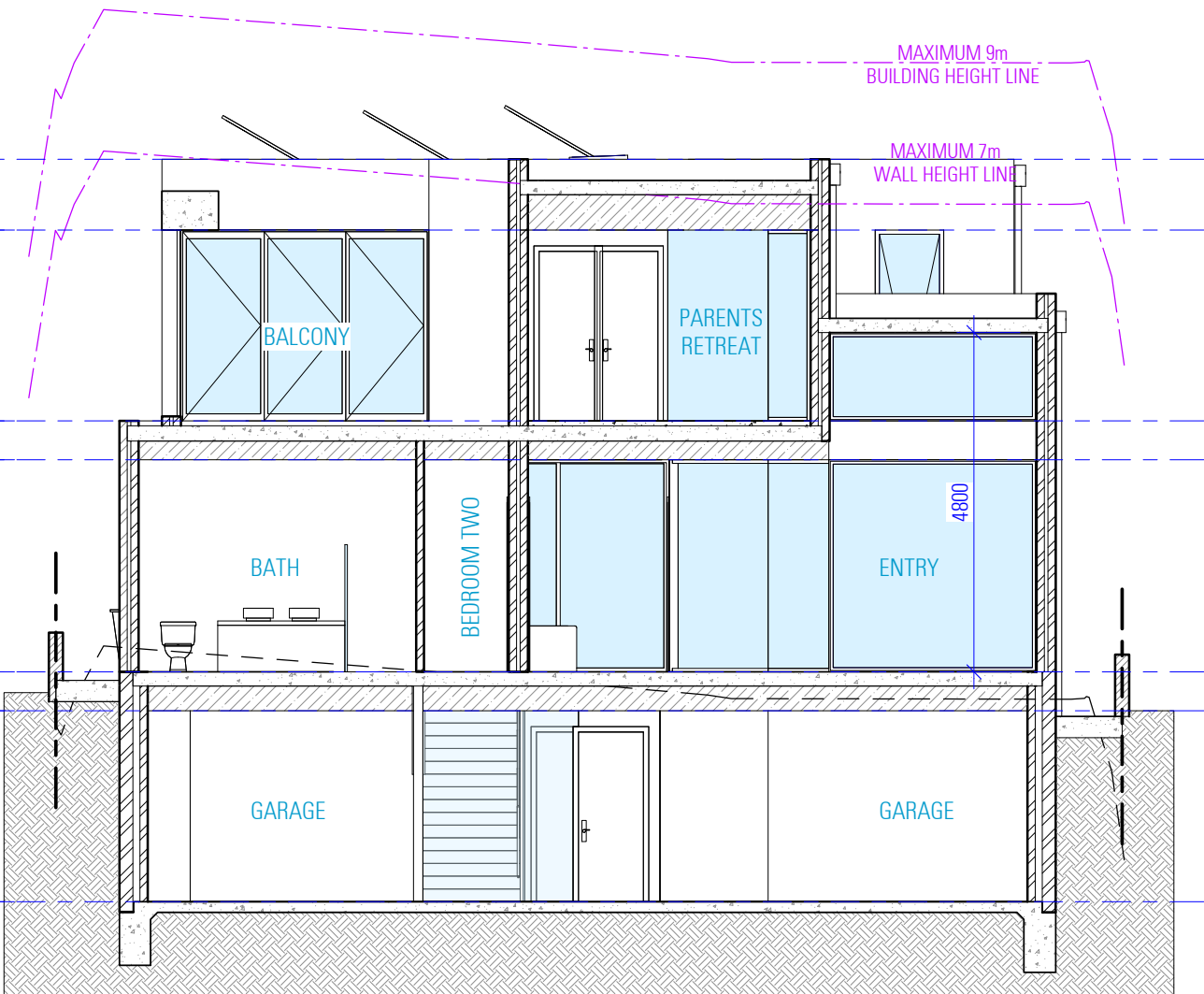
NOTES

1. THIS SCHEDULE DETAILS MAIN WALL COMPONENTS ONLY AND THE MEASUREMENTS GIVEN DO NOT INCLUDE RENDER, PLASTER OR THE LIKE. THEY ARE PROVIDED FOR 'CONSTRUCTION' PURPOSES AND SUCH DO NOT REPRESENT THE FINAL WALL THICKNESS.
2. EXISTING WALLS SHOWN SOLID HATCHED.
3. THE ITEMS PROVIDED ABOVE ARE A GENERAL LIST OF WALL TYPES. VERIFY ALL DISCREPANCIES WITH THE DESIGNER BEFORE COMMENCING CONSTRUCTION.

SECTION

A

04 -108



- EARTHWORKS**
NATIONAL CONSTRUCTION CODE (NCC)
- EARTHWORKS AND EXCAVATIONS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.1.1

- STORM WATER**
- POWDER COATED ALUMINIUM GUTTERS & DOWNPIPES.
 - REFER TO STORMWATER PLAN FOR ALL SITE DRAINAGE DETAILS AND CALCULATIONS.

- NATIONAL CONSTRUCTION CODE (NCC)**
- DRAINAGE IS TO BE IN ACCORDANCE WITH PART 3.1.3
 - ROOF, WALL CLADDING, GUTTERS & DOWNPIPES ARE TO COMPLY WITH PART 3.5

- AUSTRALIAN STANDARD (AS)**
- PLUMBING & DRAINAGE - AS 3500

- TERMITE PROTECTION**
NATIONAL CONSTRUCTION CODE (NCC)
- PROTECTION MUST BE IN ACCORDANCE WITH PART 3.1.4
- AUSTRALIAN STANDARD (AS)**
- TERMITE PROTECTION - AS 3660.1

- FOOTINGS**
- PROPOSED FOOTINGS TO THE SPECIFICATIONS OF A QUALIFIED PRACTISING ENGINEER

- NATIONAL CONSTRUCTION CODE (NCC)**
- FOOTINGS AND SLABS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PART 3.2

- AUSTRALIAN STANDARD (AS)**
- RESIDENTIAL SLABS & FOOTINGS - AS 2870

- FLOORING**
- PROPOSED FLOOR CONSTRUCTION TO THE SPECIFICATIONS OF A QUALIFIED PRACTISING ENGINEER.
 - ALL PORCHES, VERANDAHs & THE LIKE TO HAVE A 85mm STEPDOWN FROM INTERNAL AREAS UNLESS NOTED OTHERWISE.

- FOR ALL REDUCED LEVELS REFER TO FLOOR PLANS (ENGINEERS DETAILS TO SUPERSEED-CONFIRM WITH DESIGNER)
- AUSTRALIAN STANDARD (AS)**
- RESIDENTIAL SLABS & FOOTINGS - AS 2870
 - CONCRETE STRUCTURES - AS 3600

- WALLS**
NATIONAL CONSTRUCTION CODE (NCC)
- ALL FRAMING IS TO BE IN ACCORDANCE WITH PART 3.4
 - ALL MASONRY IS TO COMPLY WITH PART 3.3
 - SOUND INSULATION IS TO BE IN ACCORDANCE WITH PART 3.8.6
- AUSTRALIAN STANDARD (AS)**
- MASONRY CONSTRUCTION - AS3700
 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION - AS 1684
 - TIMBER STRUCTURES - AS 1720
 - DOMESTIC METAL FRAMING - AS 3623

- STRUCTURE**
NATIONAL CONSTRUCTION CODE (NCC)
- STAIR CONSTRUCTION IS TO COMPLY WITH PART 3.9.1
 - STRUCTURAL DESIGN TO BE IN ACCORDANCE WITH ACCEPTABLE CONSTRUCTION MANUALS AS LISTED IN PART 3.11

- AUSTRALIAN STANDARD (AS)**
- SAA LOADING CODE - AS 1170
 - DAMP PROOF COURSES AND FLASHINGS - AS/NZS 2904
 - STEEL STRUCTURES - AS 410
 - ALUMINIUM STRUCTURES - AS 1664
 - SAA MASONRY CODE - AS 3700

- GLAZING**
- POWDER COATED ALUMINIUM FRAMED GLASS WINDOWS & DOORS UNLESS NOTED OTHERWISE.

- NATIONAL CONSTRUCTION CODE (NCC)**
- ALL GLAZING IS TO BE IN ACCORDANCE WITH PART 3.6

- AUSTRALIAN STANDARD (AS)**
- WINDOWS IN BUILDINGS - AS 2047
 - GLASS IN BUILDINGS - AS 1288
- ROOFING**
NATIONAL CONSTRUCTION CODE (NCC)
- ROOF CLADDING SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.5.1
- AUSTRALIAN STANDARD (AS)**
- INSTALLATION OF ROOF TILES - AS 2050
 - DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING - AS 1562.1
- FIRE**
NATIONAL CONSTRUCTION CODE (NCC)
- FIRE SAFETY IN ACCORDANCE WITH PART 3.7
 - FIRE SEPARATION IS TO BE IN ACCORDANCE WITH PART 3.7.2
 - HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 3.7.5

- AUSTRALIAN STANDARD (AS)**
- SMOKE ALARMS - AS 3786
- HEALTH & AMENITY**
- ALL BATHROOM, ENSUITES AND LAUNDRIES TO HAVE FLOOR WASTES AND BE SETDOWN AND WATERPROOFED.

- NATIONAL CONSTRUCTION CODE (NCC)**
- WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH PART 3.8.1
 - AREAS REQUIRING VENTILATION, WHICH ARE NOT NATURALLY VENTILATED, ARE TO BE PROVIDED WITH MECHANICAL VENTILATION IN ACCORDANCE WITH PART 3.8.5
 - EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY (OR VIA A SHAFT OR DUCT) TO OUTDOOR AIR OR A VENTILATED ROOF SPACE IN ACCORDANCE WITH PART 3.8.7
 - WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE GROUND USE MUST COMPLY WITH AS 4654 PARTS 1 AND 2.
- AUSTRALIAN STANDARD (AS)**
- WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS - AS 3740
 - ELECTRICAL & LIGHTING - AS/NZS 3000-2007 AND AS1680.0-2009
 - THE USE OF MECHANICAL VENTILATION AND AIR-CONDITIONING IN BUILDINGS - AS 1668

- SAFE MOVEMENT & ACCESS**
NATIONAL CONSTRUCTION CODE (NCC)
- STAIRS SHALL BE CONSTRUCTED SO AS TO COMPLY WITH PART 3.9.1
 - ALL BALUSTRADES TO BE A MINIMUM 1000mm ABOVE FINISHED FLOOR LEVEL AND RAILS TO BE SPACED SO AS TO PREVENT A 125mm SPHERE PENETRATING THROUGH AND TO COMPLY WITH PART 3.9.2

- WINDOW BARRIERS ARE REQUIRED FOR OPENABLE WINDOWS IN EARLY CHILDHOOD CENTRES AND IN BEDROOMS OF RESIDENTIAL BUILDINGS, WHERE THE FLOOR BELOW THE WINDOW IS MORE THAN 2m ABOVE THE SURFACE BENEATH TO MEET BCA 3.9.2.6.
 - THE WINDOW IS TO BE FITTED WITH EITHER A DEVICE TO RESTRICT THE WINDOW OPENING, OR A SUITABLE SCREEN, SO A 125mm SPHERE CANNOT PASS THROUGH.
 - THE DEVICE OR SCREEN CAN HAVE A CHILD RESISTANT RELEASE MECHANISM (E.G. A KEY LOCK) WHICH CAN ENABLE THE DEVICE OR SCREEN TO BE REMOVED, UNLOCKED OR OVERRIDDEN. (SO FOR EXAMPLE, THE WINDOW CAN BE CLEANED)
 - A BARRIER IS NOT REQUIRED FOR WINDOWS 1.7m OR MORE ABOVE THE FLOOR LEVEL.
- AUSTRALIAN STANDARD (AS)**
- BALUSTRADES - AS 1170.1
 - SLIP RESISTANCE OF PEDESTRIAN SURFACES - AS/NZS 3661.2
 - FIXED PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS - AS 1657

- EXTERNAL FINISHES**
- REFER TO SCHEDULE OF EXTERNAL MATERIALS, COLOURS AND FINISHES FOR MORE DETAILS.
- NATIONAL CONSTRUCTION CODE (NCC)**
- ROOF, WALL CLADDING, GUTTERS & DOWNPIPES ARE TO COMPLY WITH PART 3.5
- AUSTRALIAN STANDARD (AS)**
- GUIDE TO THE PAINTING OF BUILDINGS - AS 2311

- INTERNAL FINISHES**
NATIONAL CONSTRUCTION CODE (NCC)
- HEATING APPLIANCES ARE TO BE INSTALLED IN ACCORDANCE WITH PART 3.10.7
- AUSTRALIAN STANDARD (AS)**
- CERAMIC TILES - AS 3958
 - INTERIOR LIGHTING - AS 1680

- LANDSCAPE**
- REFER TO LANDSCAPE PLAN FOR ALL PLANTING AND OUTDOOR SURFACE TREATMENTS

- NATIONAL CONSTRUCTION CODE (NCC)**
- BUSHFIRE AREAS ARE TO BE IN ACCORDANCE WITH PART 3.10.5
- AUSTRALIAN STANDARD (AS)**
- CONSTRUCTION OF BUILDINGS IN BUSH-FIRE PRONE AREAS - AS 3959

- GENERAL**
- TERMITE PROTECTION IS TO BE IN ACCORDANCE WITH PART 3.1.4
- AUSTRALIAN STANDARD (AS)**
- ELECTRICAL SERVICES - AS/NZS 3000
 - GAS INSTALLATIONS - AS 5601
 - OFF STREET CAR PARKING - AS 2890.1
 - PLIABLE BUILDING MEMBRANES & UNDERLAYS - AS/NZS 4200.1

THE DEVELOPMENT HAS BEEN DESIGNED TO BEST MEET THE GUIDELINES OF COUNCIL & THE NATIONAL CONSTRUCTION CODE (ALL WORK ON SITE SHALL BE CARRIED OUT IN A SIMILAR MANNER TO ADHERE TO THE REQUIREMENTS OF COUNCIL AND THE NCC)

MINOR CHANGES TO BUILDING FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT

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PROPOSED DWELLING HOUSE

35 BURBANK AVENUE
EAST HILLS NSW 2213

DESIGN
DRAFTED

BENITA ZEAITER
KRISTINA NIKOLOVSKA

ANDREW ZADA

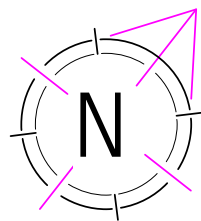
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BUILDING SECTION VIEW A

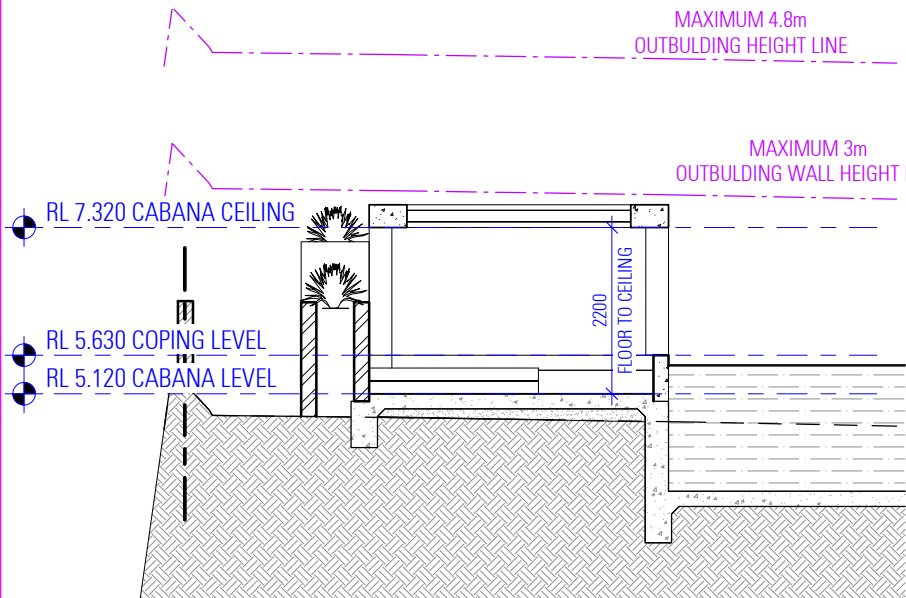
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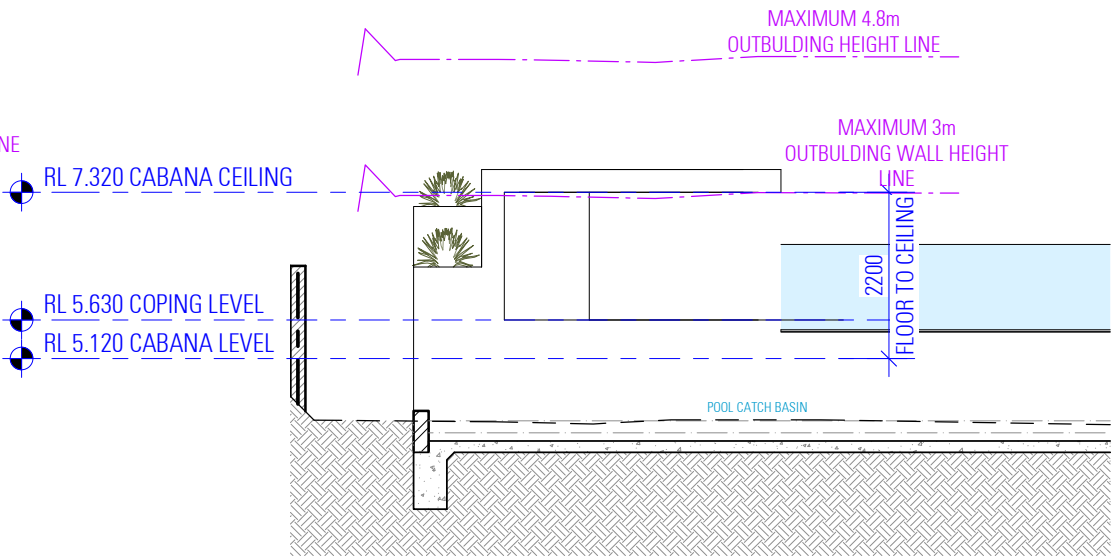
OUTBUILDING PLAN, SECTION AND ELEVATIONS



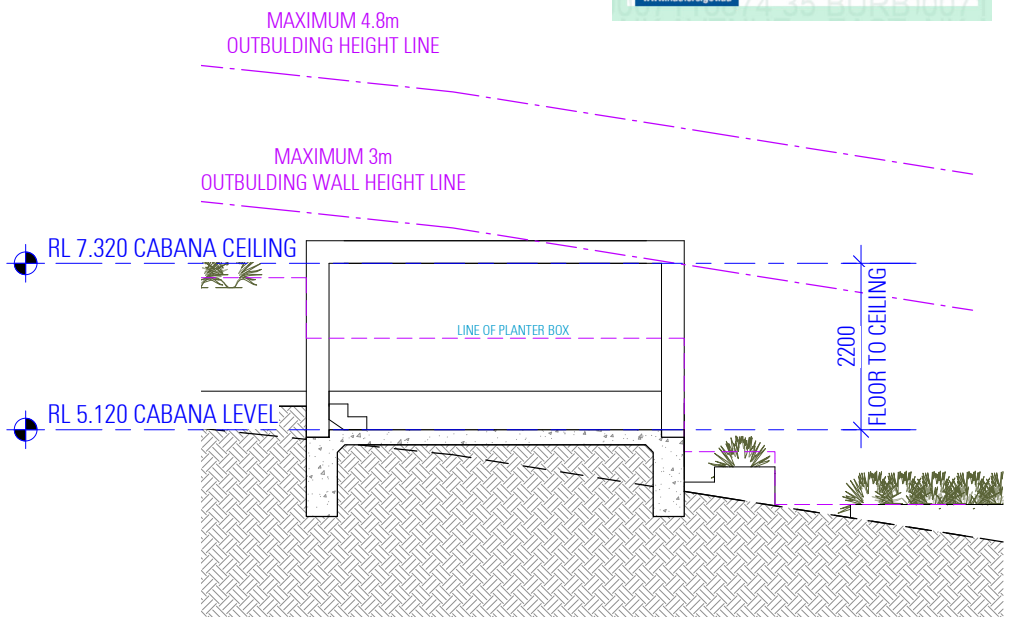
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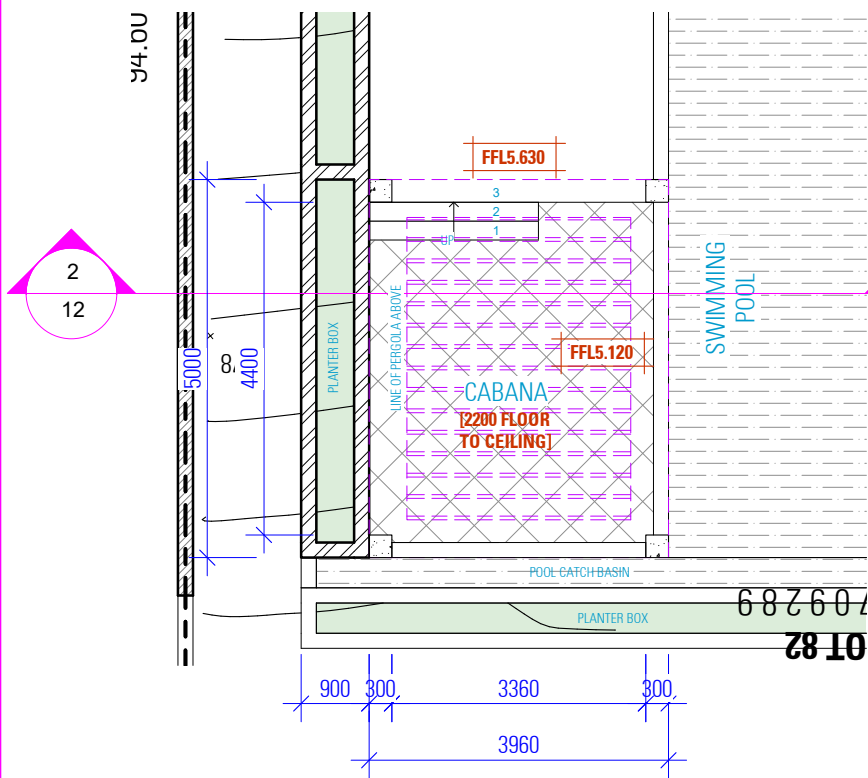
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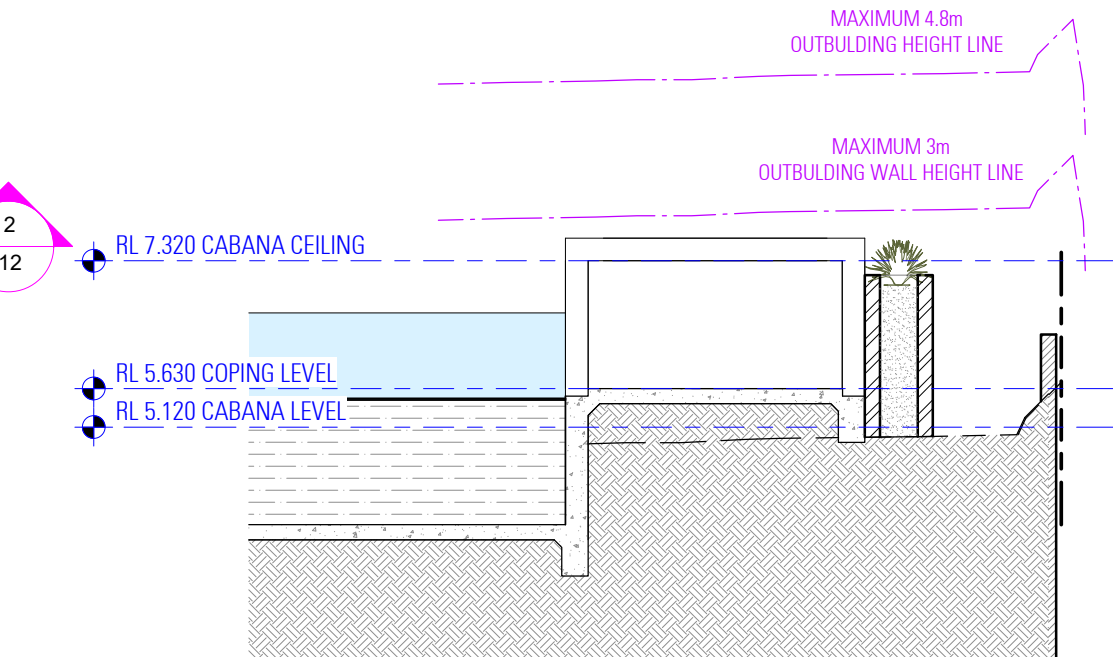
SOUTH - WEST ELEVATION



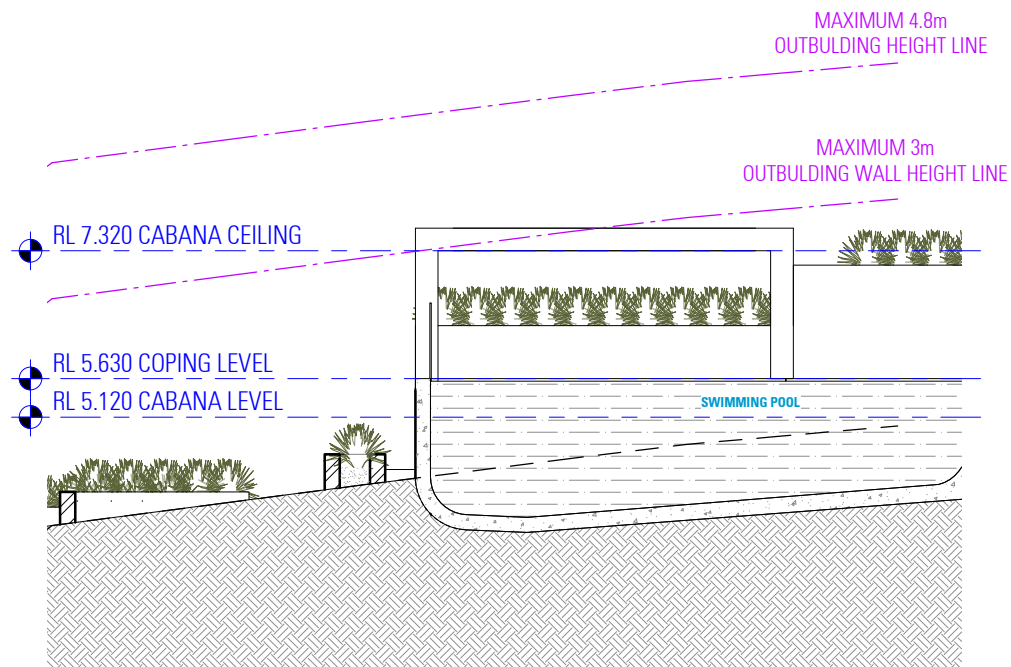
NORTH - WEST ELEVATION



PLAN



NORTH - EAST ELEVATION



SOUTH - EAST ELEVATION

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ANDREW ZADA

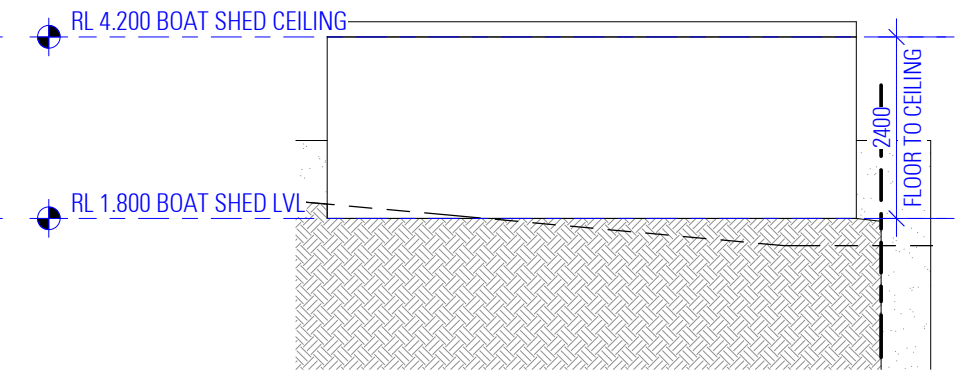
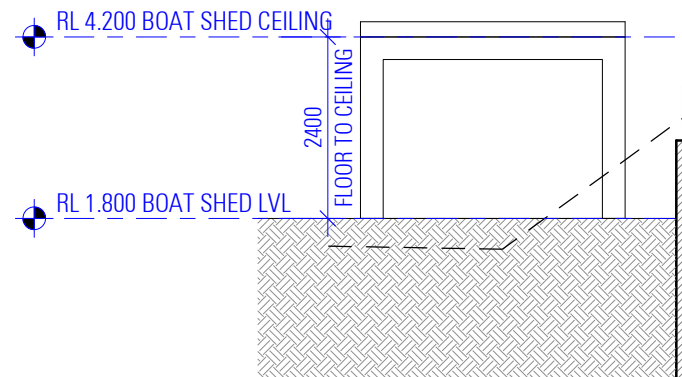
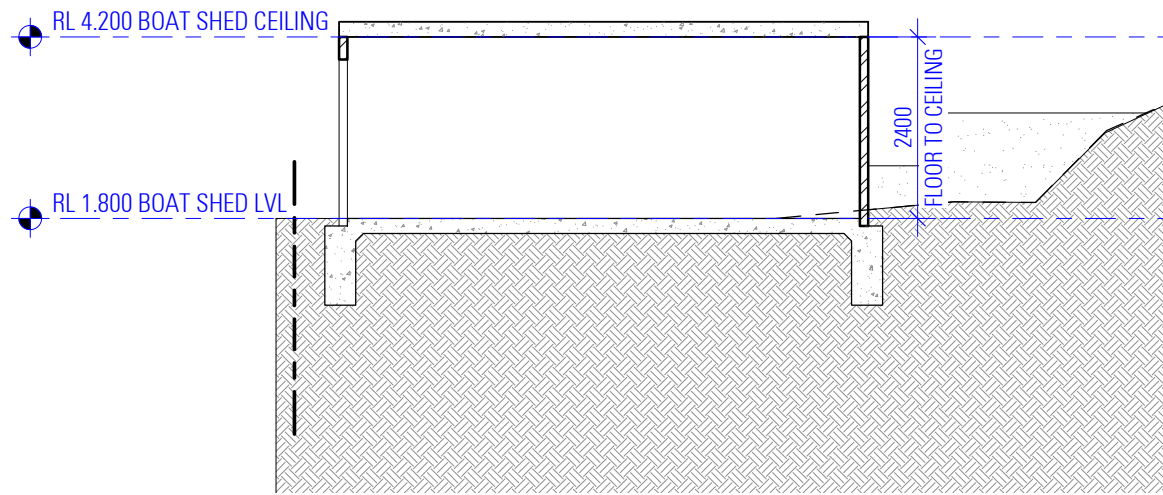
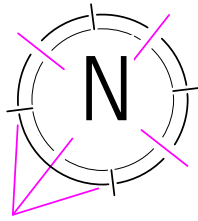
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OUTBUILDING PLAN, SECTION & ELEVATIONS

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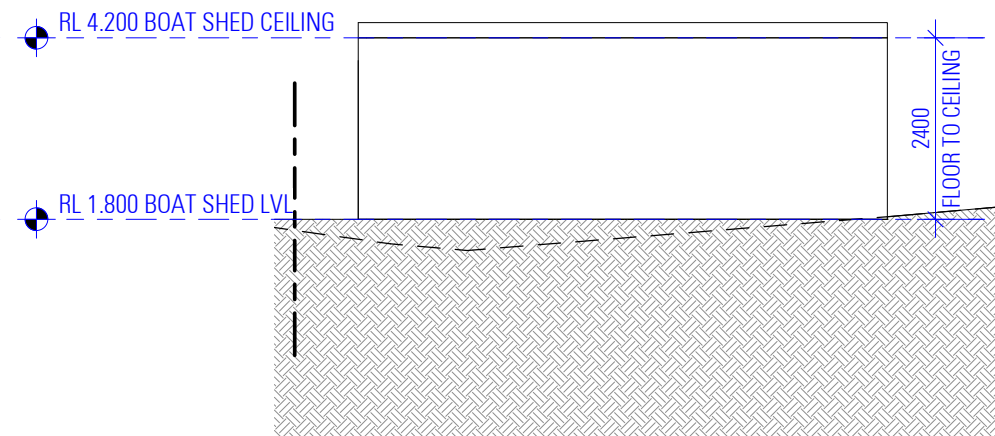
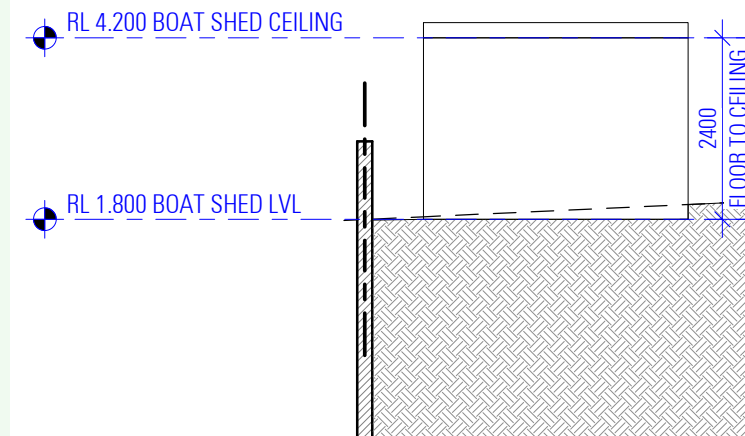


SOUTH - WEST ELEVATION

NORTH - WEST ELEVATION

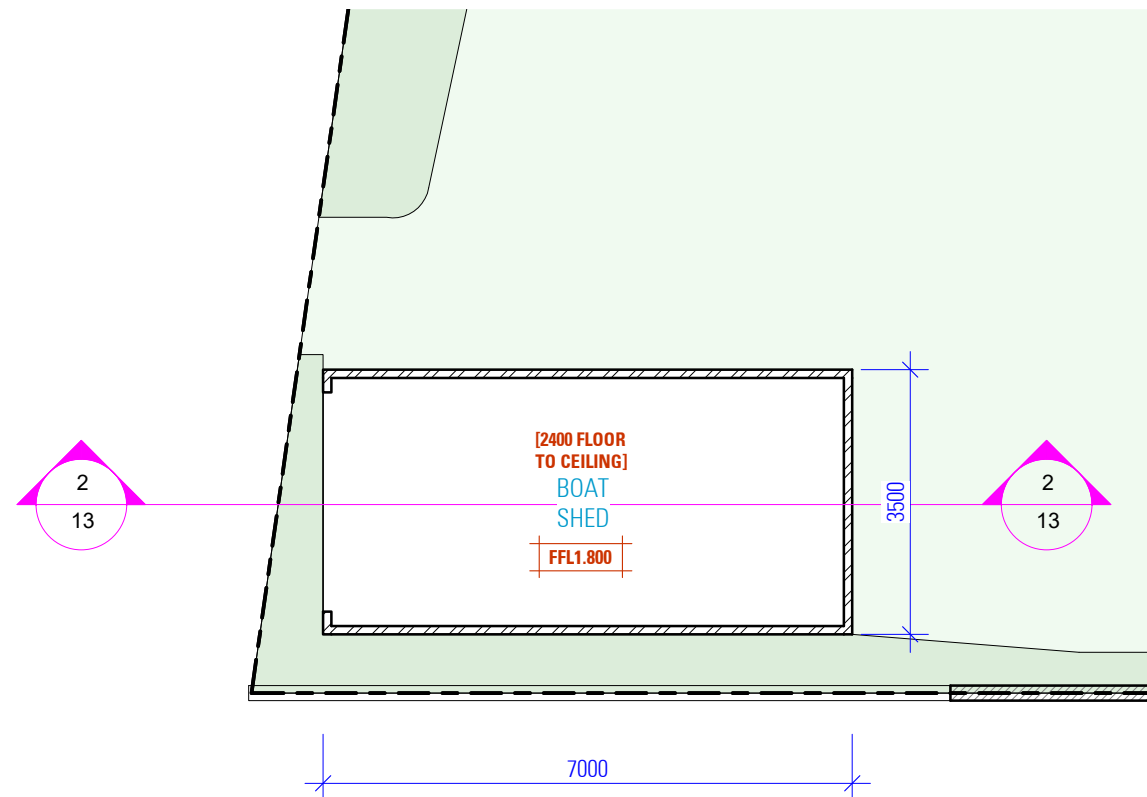
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NORTH - EAST ELEVATION

SOUTH - EAST ELEVATION



BOAT SHED PLAN

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DRAWING

BOAT SHED PLAN, SECTION &
ELEVATIONS

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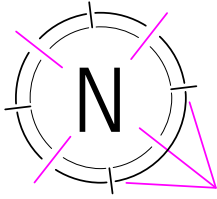
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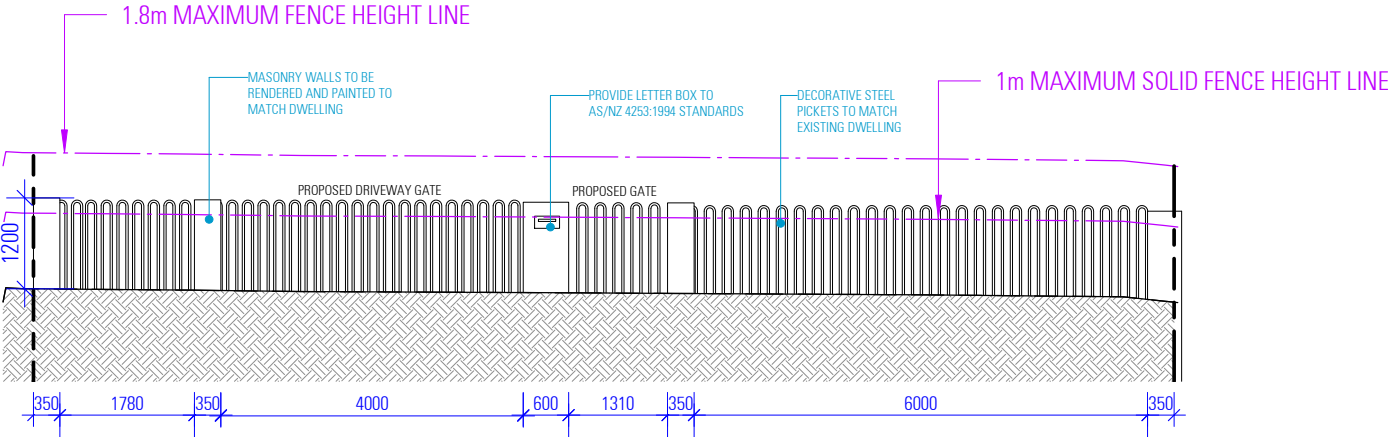
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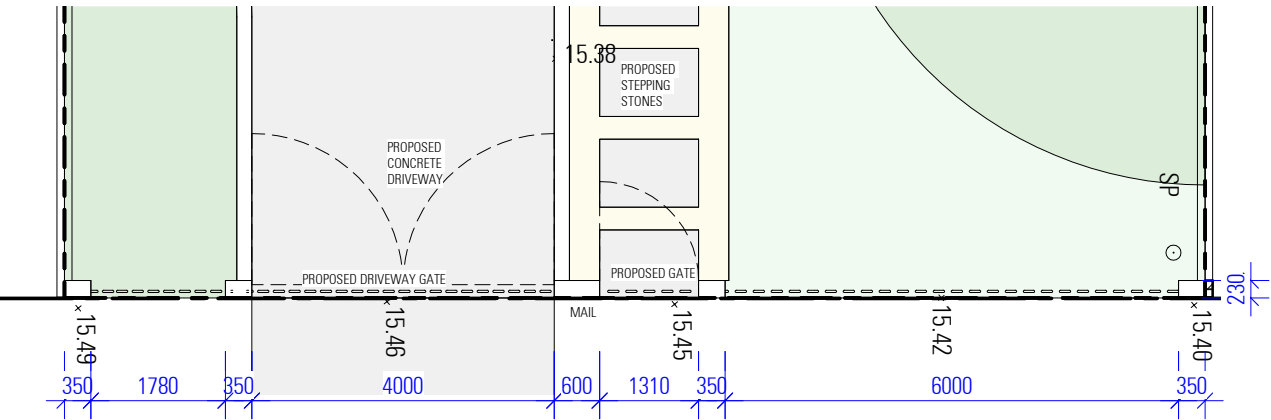
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FRONT FENCE DETAILS



FRONT FENCE ELEVATION



FRONT FENCE PLAN

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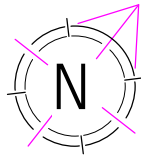
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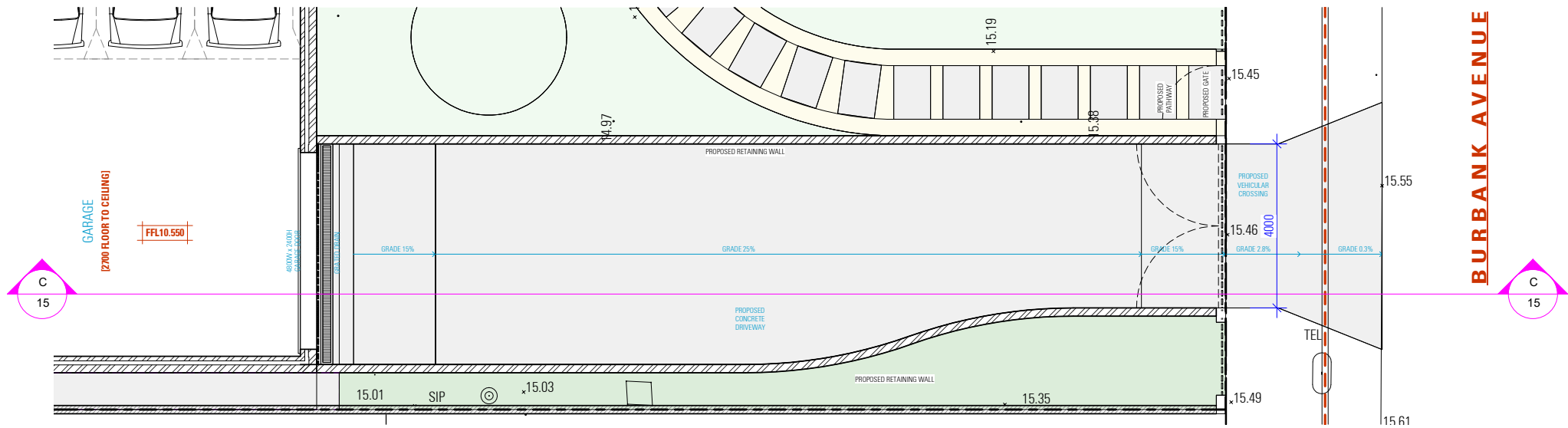
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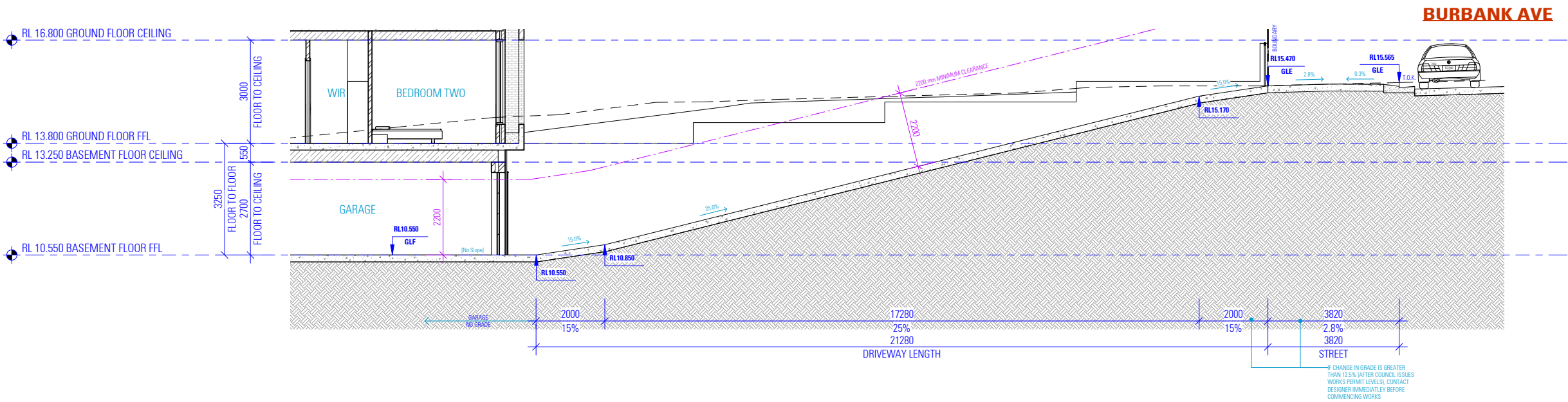
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DRIVEWAY GRADE DETAILS



DRIVEWAY PLAN



SECTION

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15

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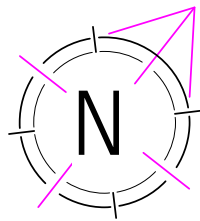
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DRIVEWAY GRADE DETAILS

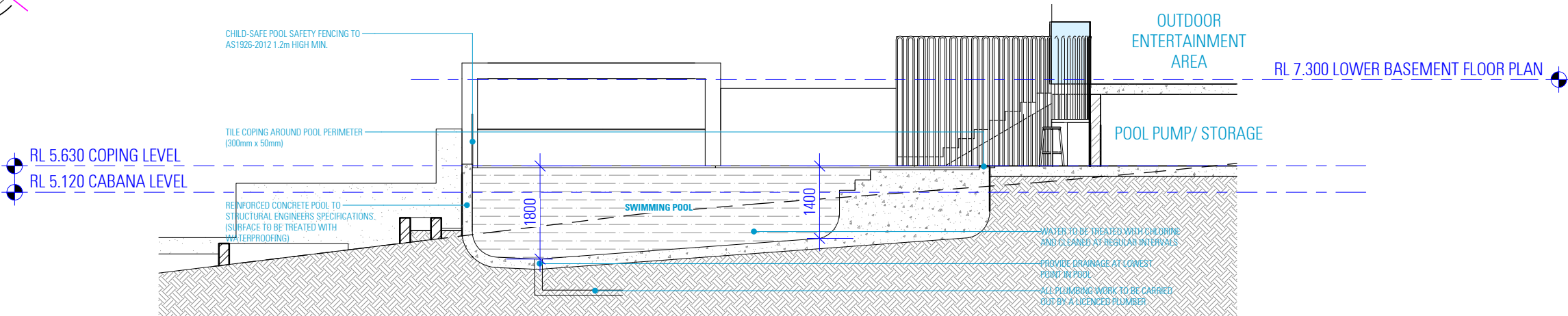
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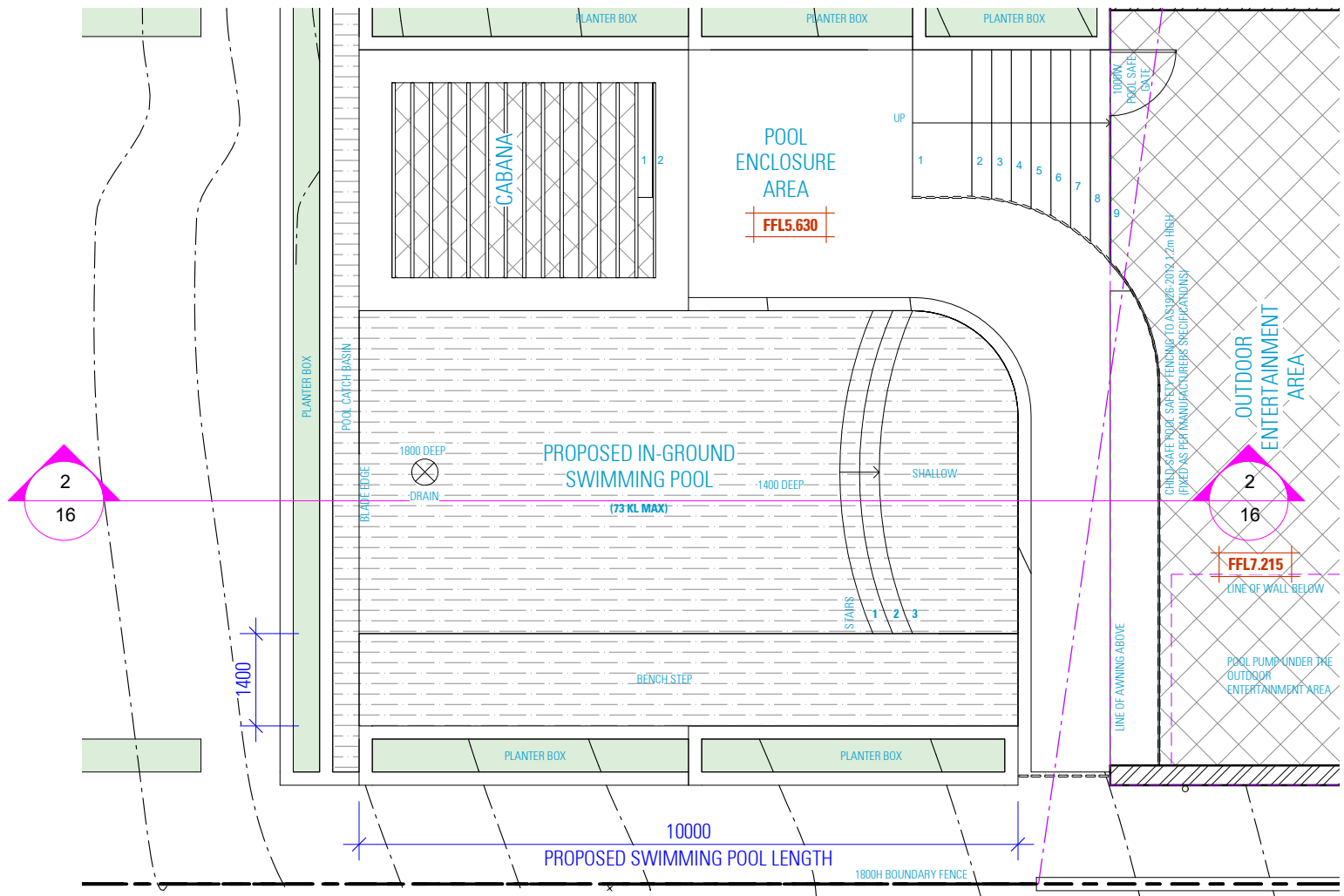
IN-GROUND SIWMMING POOL DETAILS



SECTION

2

03-08



POOL DETAILS PLANS

SWIMMING POOL REQUIREMENTS:

GENERAL REQUIREMENTS

- ALL POOLS MUST BE SEPARATED FROM RESIDENTIAL BUILDINGS AND ADJOINING PUBLIC OR PRIVATE PROPERTIES BY A COMPLYING CHILD-RESISTANT BARRIER (MUST BE IN ACCORDANCE WITH THE REGULATIONS AND AS1926.1-2012 SWIMMING POOL SAFETY).
- NO DOOR ACCESS FROM A RESIDENTIAL BUILDING INTO AN OUTDOOR POOL IS PERMITTED.
- ONLY STRUCTURES ASSOCIATED WITH THE POOL (FILTER HOUSING, ETC.) ARE PERMITTED WITHIN THE ENCLOSED POOL AREA.
- STRUCTURES SUCH AS CLOTHES LINES, BARBEQUE, SHEDS, ENTERTAINMENT STRUCTURE, OUTSIDE TOILETS, ETC., MUST ALL BE LOCATED OUTSIDE THE CHILD RESISTANT BARRIER.

POOL FENCING

- SWIMMING POOL FENCING AND OTHER BARRIERS TO BE PROVIDED TO THE POOL AREA IN ACCORDANCE WITH THE SWIMMING POOLS ACT 1992.
- BOUNDARY FENCE TO BE 1.8m IN HEIGHT, MEASURED FROM INSIDE OF THE FENCING.
- SWIMMING POOL FENCING TO BE AT LEAST 1.2m HIGH, MEASURED ON THE OUTSIDE OF THE FENCING.
- MINIMUM 900mm SEPARATION BETWEEN THE UPPER AND LOWER HORIZONTAL MEMBERS TO MAINTAIN NON-CLIMBABLE ZONE.
- HORIZONTAL MEMBERS OF THE FENCE SHOULD BE PLACED ON THE INSIDE OF THE FENCE AND BE AT LEAST 900mm APART.
- THE SPACING OF VERTICAL MEMBERS OF THE FENCE SHALL NOT EXCEED 100mm.
- THE HEIGHT OF ANY OPENING BETWEEN THE BOTTOM OF THE FENCE AND FINISHED GROUND LEVEL SHALL NOT EXCEED 100mm.
- ALL SWIMMING POOL FENCING TO BE MAINTAINED IN A GOOD CONDITION (ie. WITH NO HOLES, BROKEN OR LOOSE PALINGS).
- NON-CLIMBABLE ZONE EXTENDS FROM THE POOL FENCE 300mm INTO THE POOL AREA AND 900mm OUTSIDE THE POOL AREA. TO PREVENT A CHILD TO CLIMB OVER THE FENCE, CLIMBABLE OBJECTS SUCH AS BARBEQUES, FURNITURE, PLANTER BOXES, TREES OR SHRUB ARE NOT PERMITTED WITHIN THIS NON-CLIMBABLE ZONE.
- IF THE WALL OF THE HOUSE FORMS PART OF THE APPROVED CHILD-RESISTANT BARRIER TO THE POOL AREA (ie. IN RELATION TO POOLS INSTALLED BEFORE 1 AUGUST 1990), ALL DOOR AND WINDOW OPENINGS IN THE WALL/S MUST BE CHILD-RESISTANT IN ACCORDANCE WITH THE REGULATIONS TO PREVENT CHILDREN ACCESSING THE POOL AREA.

POOL GATES

- GATES TO THE SWIMMING POOL AREA ARE TO OPEN OUTWARDS AND ARE TO BE FULLY SELF-CLOSING AND SELF-LATCHING FROM ANY OPEN POSITION.
- NO DOUBLE GATES ARE PERMITTED.
- GATES ARE NOT TO BE PROPPED OPEN AT ANY TIME.
- THE LATCHING DEVICE TO THE POOL GATE IS TO BE LOCATED A MINIMUM 1.5m ABOVE GROUND LEVEL AND 1.4m FROM THE HIGHEST LOWER HORIZONTAL BARRIER MEMBER OR, ALTERNATIVELY, THE DEVICE IS TO BE LOCATED INSIDE THE GATE AND THE LATCHING DEVICE IS TO BE APPROPRIATELY SHIELDED FROM THE OUTSIDE IN ACCORDANCE WITH AS1926.1-2012 (EXCLUDING CLAUSE 2.8 OF THE STANDARD) TO ENSURE THE LATCHING DEVICE IS ONLY ACCESSIBLE BY REACHING OVER THE GATE.
- GATE WIDTH IS TO BE KEPT TO A MINIMUM (NO MORE THAN 1 METRE) TO MINIMISE THE POSSIBILITY OF THE WEIGHT OF THE GATE CAUSING THE GATE TO DROP WITH THE SELF-LATCHING MECHANISM FAILING.

SPA POOLS

- SPA POOLS ARE ALSO COVERED BY THE LEGISLATION AND SHOULD BE SEPARATED BY A CHILD-RESISTANT POOL SAFETY BARRIER IN ACCORDANCE WITH AUSTRALIAN STANDARD AS1926.1-2012.
- ALTERNATIVELY, THE SPA POOL MUST BE COVERED AND SECURED BY A LOCKABLE CHILD-SAFE STRUCTURE (SUCH AS A DOOR, LID, GRILLE OR MESH). SUCH LOCKABLE STRUCTURE MUST BE ABLE TO BE REMOVED/INSTALLED AND LOCKED BY A SINGLE PERSON.

RESUSCITATION WARNING SIGN

- AN APPROPRIATE RESUSCITATION WARNING SIGN (AVAILABLE FROM COUNCIL OR THE ROYAL LIFE SAVING SOCIETY) IS DISPLAYED IN A PROMINANT POSITION IN THE IMMEDIATE VICINITY OF THE POOL AREA.
- THE FOLLOWING WARNING STATEMENTS MUST BE CONTAINED WITHIN THE RESUSCITATION SIGN:
 - YOUNG CHILDREN SHOULD BE SUPERVISED WHEN USING THIS SWIMMING POOL
 - POOL GATES MUST BE KEPT CLOSED AT ALL TIMES
 - KEEP ARTICLES, OBJECTS AND STRUCTURES AT LEAST 900 MM CLEAR OF THE POOL FENCE AT ALL TIMES
- THE RESUSCITATION SIGN MUST BE:
 - LEGIBLE FROM A DISTANCE OF AT LEAST THREE METRES
 - MAINTAINED IN A CLEARLY LEGIBLE CONDITION

REFER TO THE SWIMMING POOLS ACT 1992, THE SWIMMING POOLS REGULATION 2018 AND AUSTRALIAN STANDARD AS 1926.1-2012 (EXCLUDING CLAUSE 2.8 OF THE STANDARD) FOR A COMPLETE LIST OF REQUIREMENTS.



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DESIGN
DRAFTED

BENITA ZEAITER
KRISTINA NIKOLOVSKA

ANDREW ZADA

DRAWING

IN-GROUND SWIMMING POOL DETAILS

SCALE
ISSUE 1 : 100 / A3
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DWG No. 21195 - 16

SHADOW DIAGRAMS - 21st MARCH



SHADOW DIAGRAM 9AM

SHADOW DIAGRAM 12PM

SHADOW DIAGRAM 5PM NOT FOR CONSTRUCTION

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ACCREDITED BUILDING DESIGNER

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EAST HILLS NSW 2213

DESIGN
DRAFTED

BENITA ZEAITER
KRISTINA NIKOLOVSKA

ANDREW ZADA

DRAWING

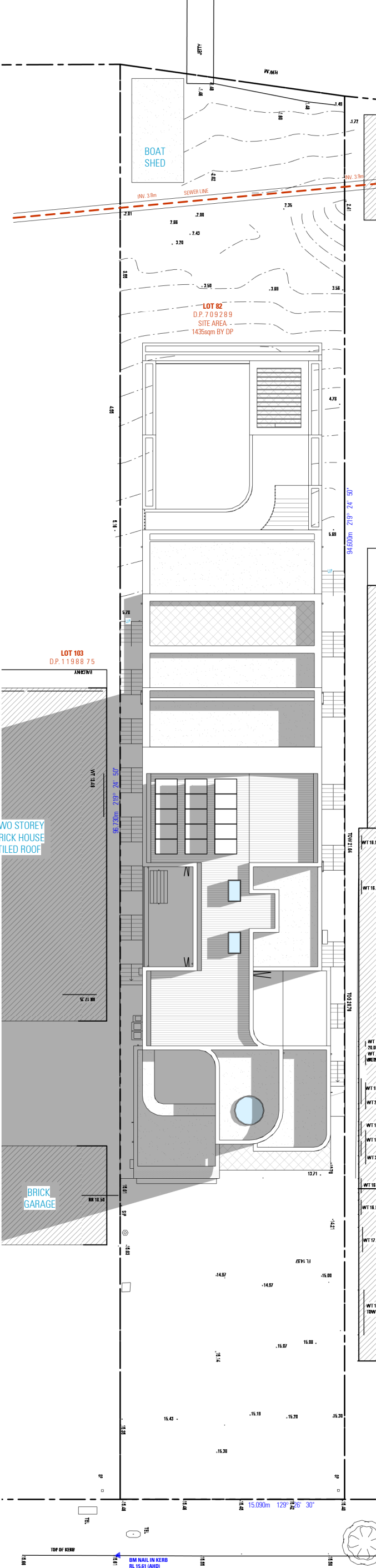
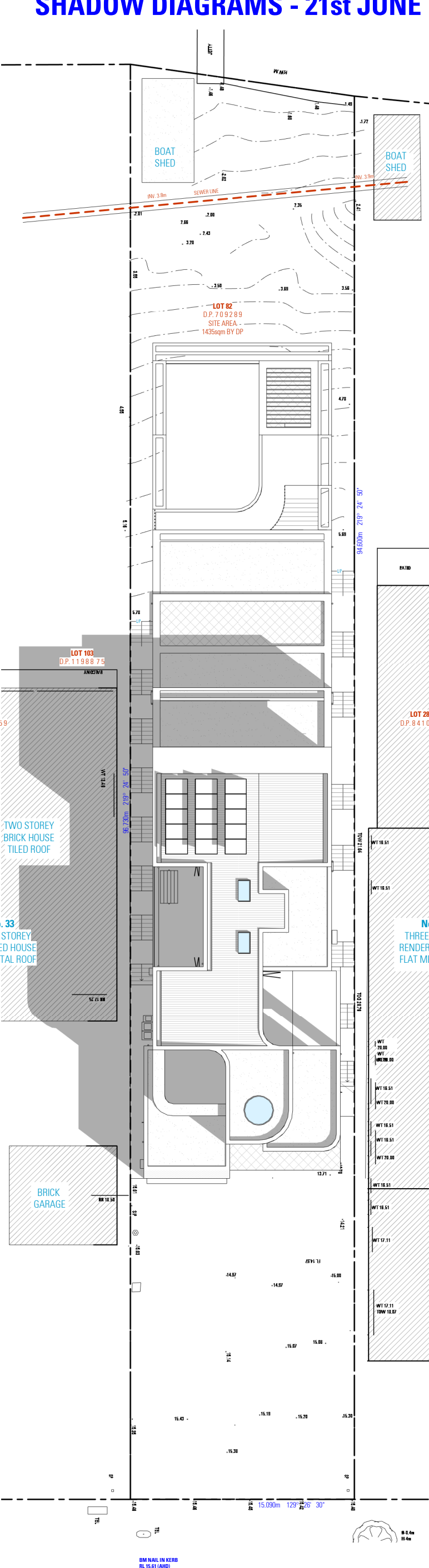
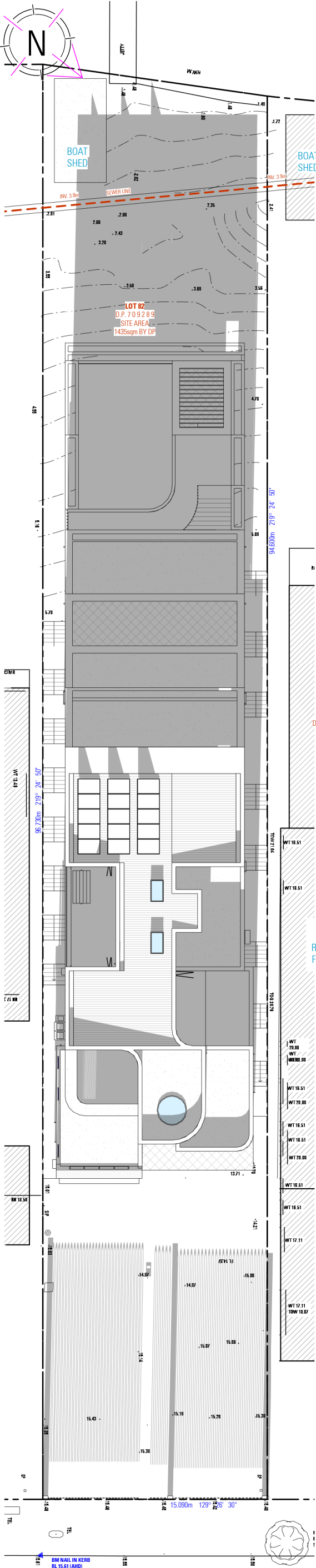
SHADOW DIAGRAMS- 21st MARCH

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SHADOW DIAGRAMS - 21st JUNE



SHADOW DIAGRAM 8AM

SHADOW DIAGRAM 12PM

SHADOW DIAGRAM 4PM

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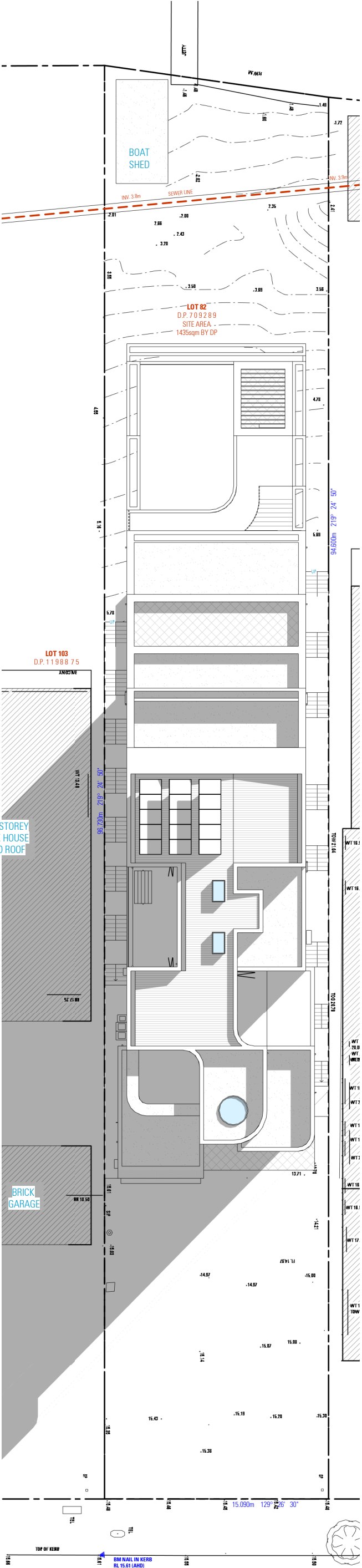
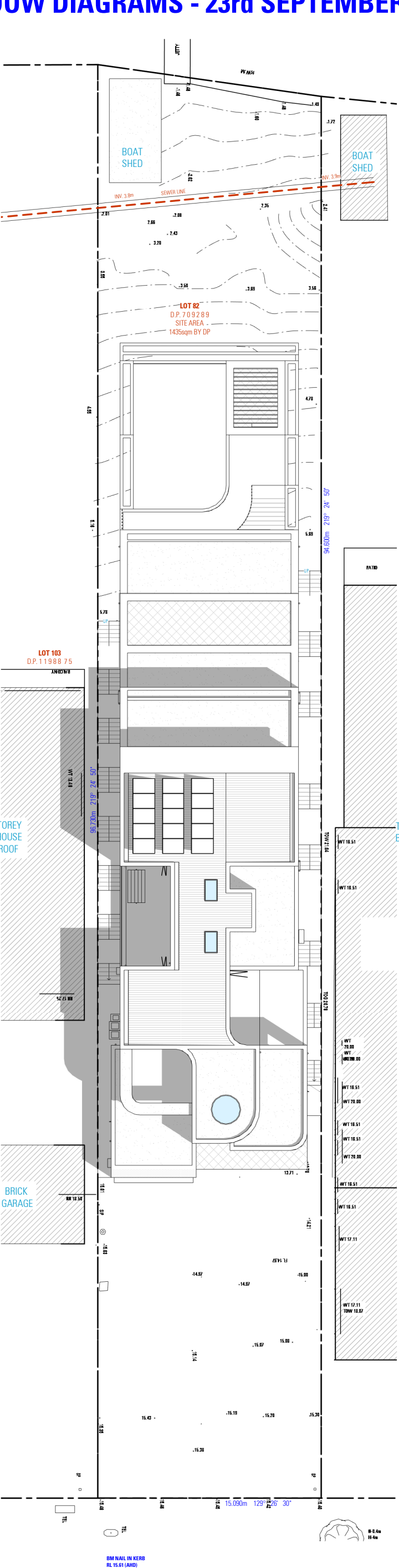
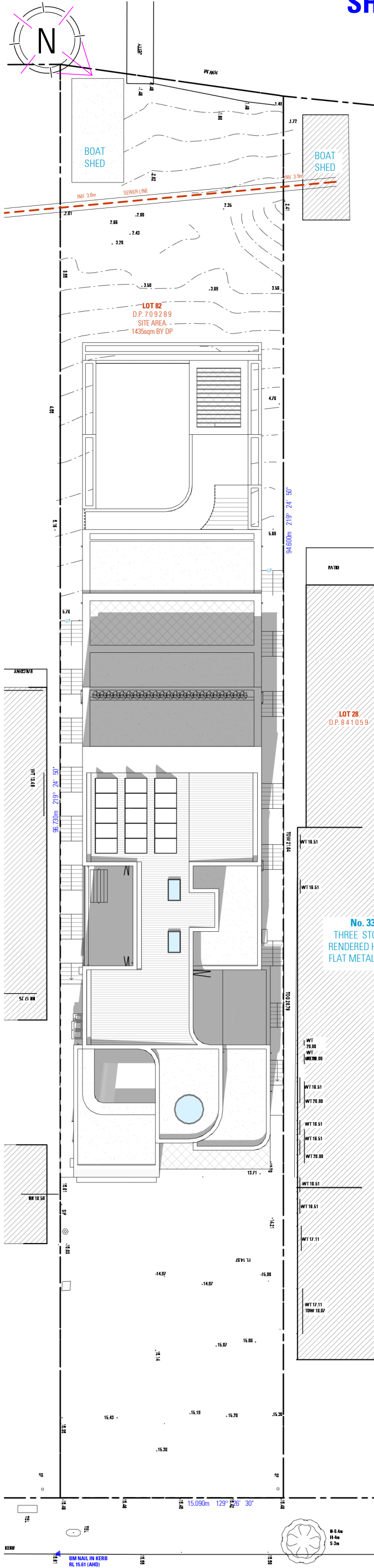
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SHADOW DIAGRAMS- 21st JUNE

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ISSUE A 21.03.2022

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SHADOW DIAGRAMS - 23rd SEPTEMBER



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SHADOW DIAGRAM 12PM

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DRAFTED KRISTINA NIKOLOVSKA

DRAWING
SHADOW DIAGRAMS- 23rd SEPTEMBER
SCALE 1:200 / A2
ISSUE A 21.03.2022

DWG No. 21195 - 19

SCHEDULE OF EXTERNAL MATERIALS, COLOURS AND FINISHES

- 1 OFF-FORM CONCRETE FINISH
- 2 VERTICAL TIMBER SLATS
COLOUR 'TEAK'
- 3 FRONT ENTRY STEEL DOOR
COLOUR 'DOMINO'
- 4 POWDER-COATED ALUMINIUM WINDOWS
AND GLASS DOORS
COLOUR "DOMINO"
- 5 CURVED TIMBER CLADDING
COLOUR 'TEAK'
- 6 PGH SLIM BRICK STACK BOND
'LANG MURSTEN' ROSENBERG
COLOUR 'LEXICON'
- 7 GARAGE DOOR TO BE INTEGRATED
WITH TIMBER CLADDING
COLOUR "TEAK"



FRONT ELEVATION
AS SEEN FROM BURBANK AVENUE



NOT FOR CONSTRUCTION

NOTES

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PROPOSED DWELLING HOUSE

35 BURBANK AVENUE
EAST HILLS NSW 2213

DESIGN BENITA ZEAITER
DRAFTED KRISTINA NIKOLOVSKA

SCALE / A3
ISSUE A 21.03.2022

ANDREW ZADA

DRAWING

SCHEDULE OF EXTERNAL MATERIALS,
COLOURS AND FINISHES

DWG No. 21195 - 20

BASIX COMMITMENTS

BASIX[®] Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 12838145

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 10 March 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Project summary			
Project name	35_bur		
Street address	35 Burbank Avenue EAST HILLS 2213		
Local Government Area	Canterbury-Bankstown Council		
Plan type and plan number	deposited 709289		
Lot no.	82		
Section no.	-		
Project type	separate dwelling house		
No. of bedrooms	7		
Project score			
Water	✓ 40	Target 40	
Thermal Comfort	✓ Pass	Target Pass	
Energy	✓ 54	Target 50	

Certificate Prepared by	
Name / Company Name:	Noura Al Hazzouri
ABN (if applicable):	80873399711

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_19_1 Certificate No.: 12838145 Thursday, 10 March 2022 page 1/7

Description of project

Project address	
Project name	35_bur
Street address	35 Burbank Avenue EAST HILLS 2213
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan 709289
Lot no.	82
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	7
Site details	
Site area (m²)	1444
Roof area (m²)	140
Conditioned floor area (m2)	852.7
Unconditioned floor area (m2)	23.59
Total area of garden and lawn (m2)	166

Assessor details and thermal loads			
Assessor number	DMN181891		
Certificate number	0007116674		
Climate zone	56		
Area adjusted cooling load (MJ/m² year)	26		
Area adjusted heating load (MJ/m² year)	46		
Ceiling fan in at least one bedroom	No		
Ceiling fan in at least one living room or other conditioned area	No		
Project score			
Water	✓ 40		Target 40
Thermal Comfort	✓ Pass		Target Pass
Energy	✓ 54		Target 50

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_19_1 Certificate No.: 12838145 Thursday, 10 March 2022 page 2/7

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 90 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the development		✓	✓
<ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Swimming pool			
The swimming pool must not have a volume greater than 73 kilolitres.	✓	✓	
The swimming pool must have a pool cover.		✓	
The swimming pool must be outdoors.	✓	✓	

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Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Floor and wall construction		Area	
floor - suspended floor/enclosed subfloor		All or part of floor area square metres	

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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER < 2.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER < 2.5		✓	✓
The cooling system must provide for daylight zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER < 2.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER < 2.5		✓	✓
The heating system must provide for daylight zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 7 of the bedrooms / study; dedicated		✓	✓

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_19_1 Certificate No.: 12838145 Thursday, 10 March 2022 page 5/7

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none">at least 2 of the living / dining rooms; dedicated		✓	✓
<ul style="list-style-type: none">the kitchen; dedicated		✓	✓
<ul style="list-style-type: none">all bathrooms/toilets; dedicated		✓	✓
<ul style="list-style-type: none">the laundry; dedicated		✓	✓
<ul style="list-style-type: none">all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 6 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar (gas boosted)		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

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Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

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ACCREDITED
BUILDING DESIGNER

PROPOSED DWELLING HOUSE

35 BURBANK AVENUE
EAST HILLS NSW 2213

DESIGN
DRAFTED

BENITA ZEAITER
KRISTINA NIKOLOVSKA

ANDREW ZADA

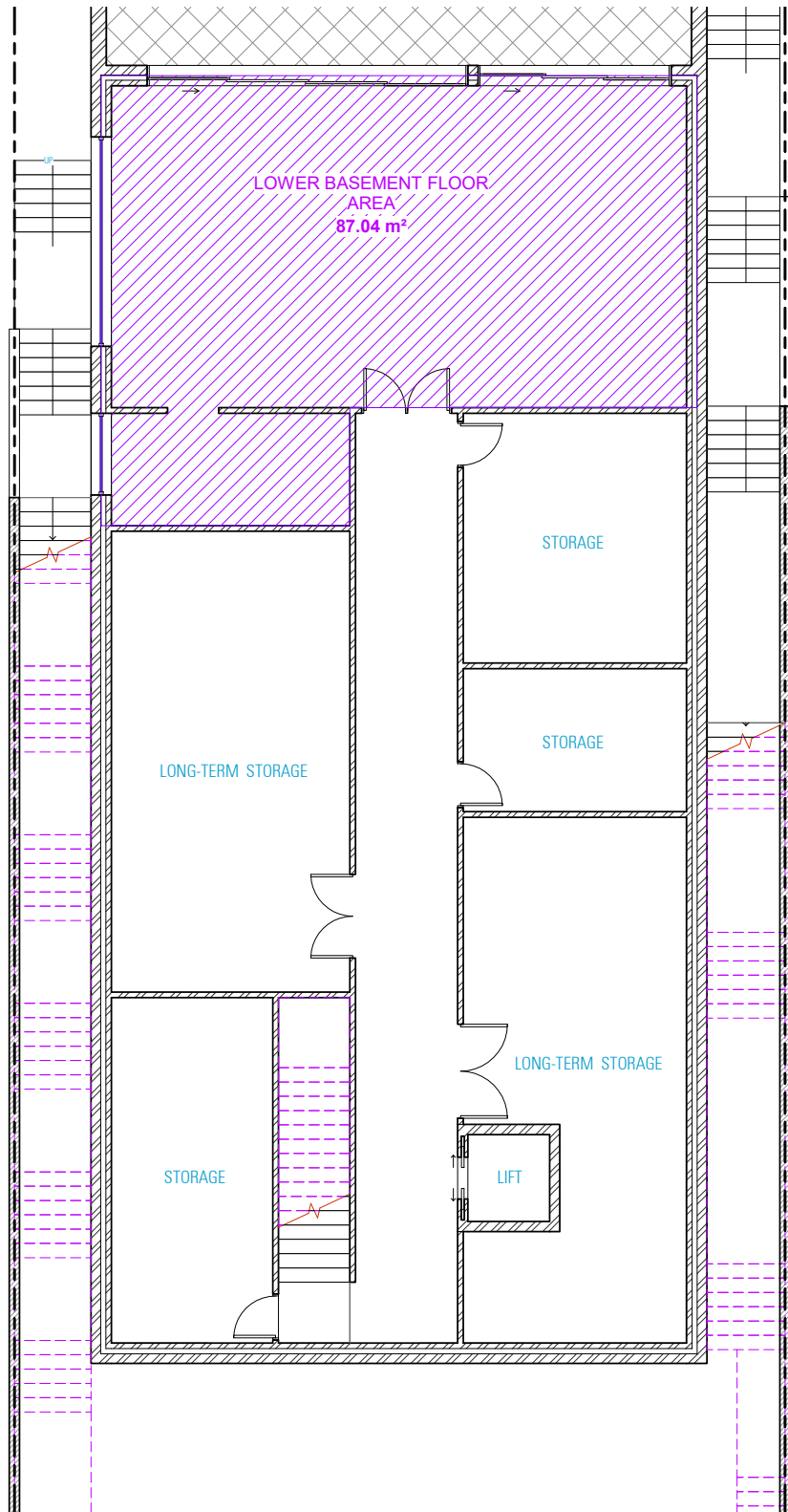
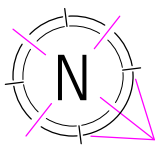
DRAWING

BASIX COMMITMENTS

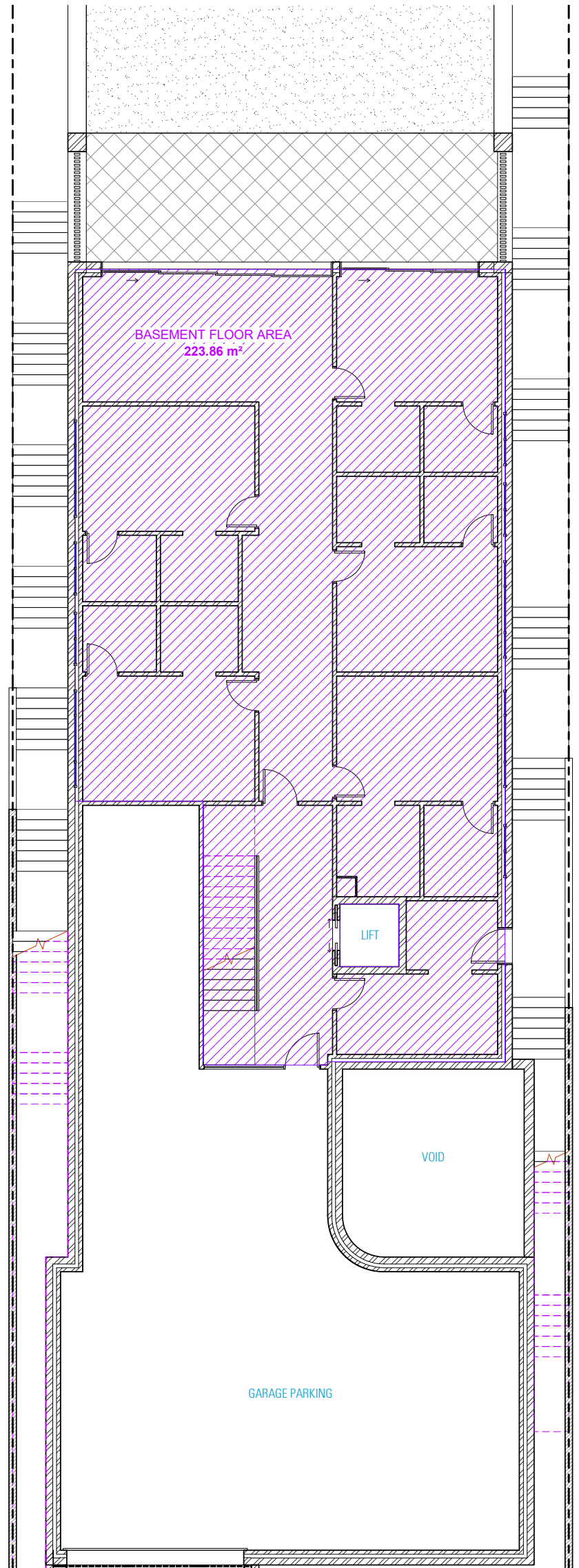
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DWG No. 21195 - 21



LOWER BASEMENT FLOOR PLAN



BASEMENT GFA

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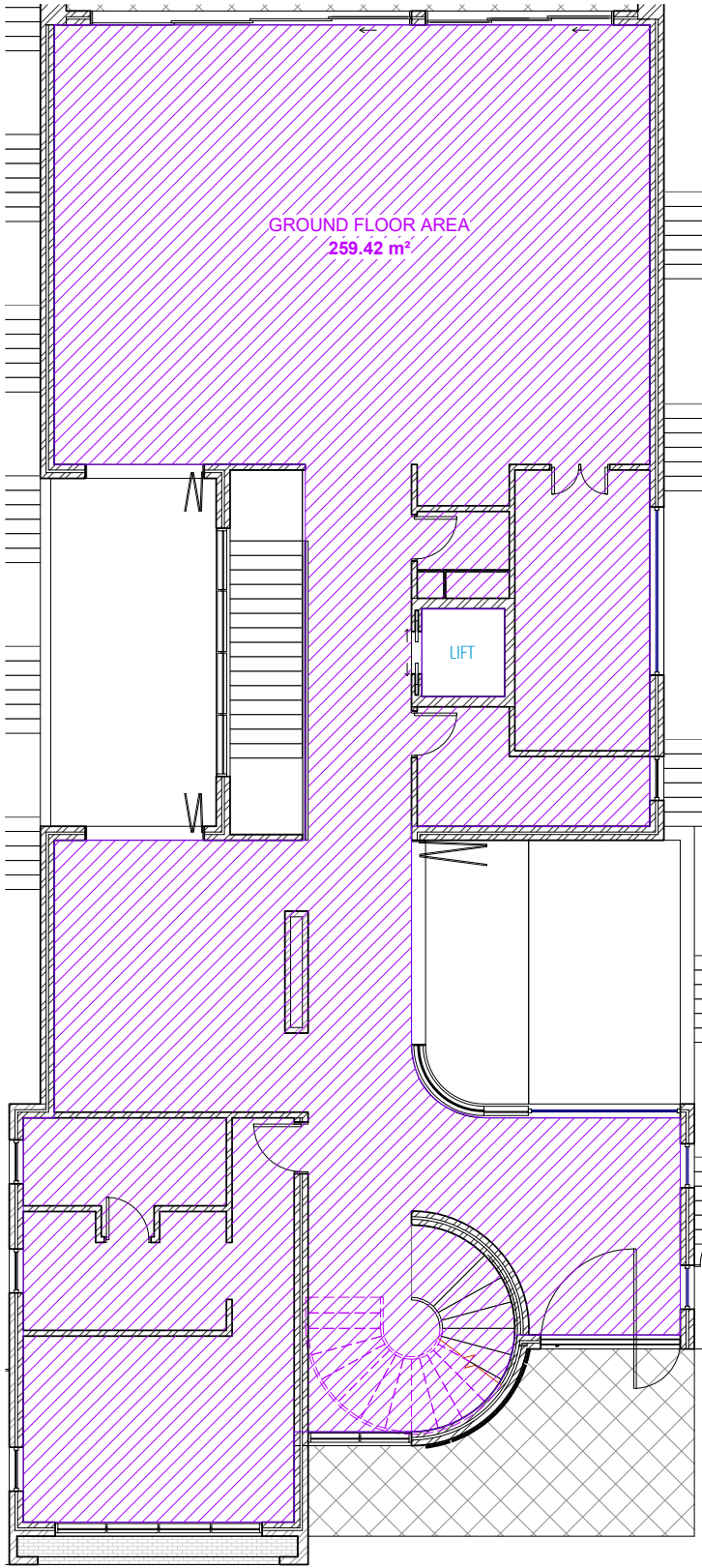
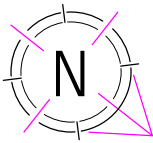
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GFA LOWER BASEMENT AND
BASEMENT CALCULATION SHEET

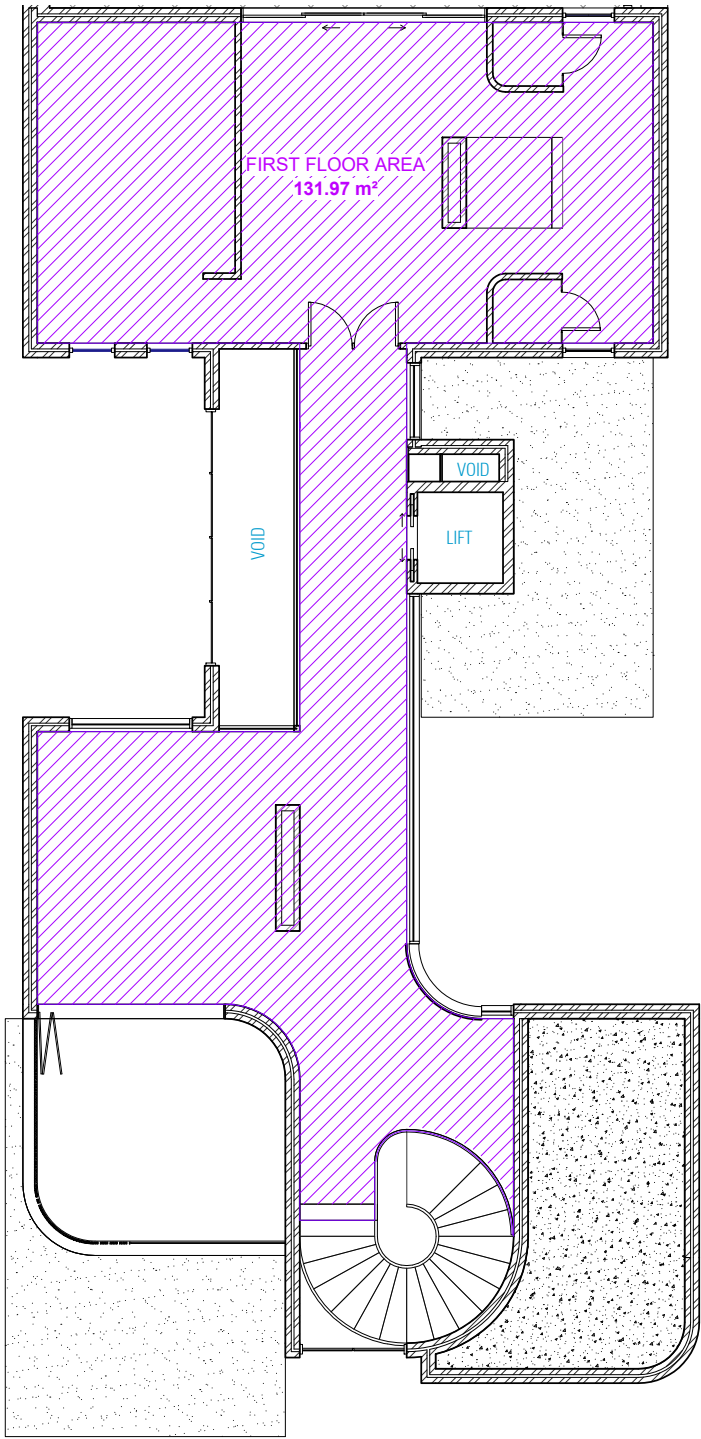
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GROUND FLOOR GFA



FIRST FLOOR GFA

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EAST HILLS NSW 2213

DESIGN BENITA ZEAITER
DRAFTED KRISTINA NIKOLOVSKA

ANDREW ZADA

DRAWING
GFA GF & FF CALCULATION SHEET

SCALE 1:100 / A2
ISSUE A 21.03.2022

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